

ABBREVIATIONS:

AC	-A-	ACOUSTIC	LAM	LAMINATE
ACT		ACOUSTIC TILE	LINO	LINOLEUM
ALUM./AL		ALUMINIUM	LP	LIGHTING PANEL
ASPH		ASPHALT	LT	LIGHT WEIGHT
AHU		AIR HANDLING UNIT	LS	LIGHT STANDARD
ARCH.		ARCHITECTURAL	LT	LIGHT
AUTO		AUTOMATIC	LVR	LOUVRE
AUX		AUXILIARY	LUX	LUX
A.F.F		ABOVE FINISH FLOOR	LSD	LIQUID SOAP DISPENSER
A.P.		ANNUNCIATOR PANEL	LG	LAMINATED GLASS
BD	-B-	BOARD	MAX.	MAXIMUM
BLK		BLOCK	MIN.	MINIMUM
BM		BEAM	MECH	MECHANICAL
BH		BORE HOLE	MTL	METAL
BLDG		BUILDING	MH	MOP HOLDER
BTU		BRITISH THERMAL UNIT	M	METRE
B/S		BOTH SIDES	mm	MILLIMETER
B.F		BARRIER FREE	M.O.	MASONRY OPENING
BB		BULLNOSE BLOCK	MIR	MIRROR
CAB	-C-	CABINET	NS	NON SLIP
CEM. BD.		CEMENTIOUS BOARD	NIC	NOT IN CONTRACT
CPT		CARPET	N/A	NOT APPLICABLE
CEM		CEMENT	NTS	NOT TO SCALE
CT		CERAMIC TILE		
CB		CONCRETE BLOCK	O.C.	ON CENTRE
CI		CAST IRON	OWSJ	OPEN WEB STEEL JOISTS
CJ		CONTROL JOINT	OPER	OPERABLE
CL		CENTRE LINE	O/H	OVERHEAD
COL		COLUMN	O/U	OUT TO OUT
CONT		CONTINUOUS	OA	OVERALL
CONC		CONCRETE	OD	OUTSIDE DIAMETER
C/W		COMPLETE WITH		
CH		CHEMICAL HEATER		
CO		CLEAN OUT	PT	PAINT FINISH
CC		CENTRE TO CENTRE	PHC	POLISHED HARDENED CONCRETE
CR		CARD READER	PTD	PAPER TONER DISPENSER
COATER/DRNK		COATER/DRINK	PWC	PLASTIC WALL COATING
CSK		CONTROL PANEL	PC	PRECAST CONCRETE
CP		CERAMIC TILE	PERF	PERFORATED
CT		COAT HOOK	PG	PLATE GLASS
CT HK		CEDAR WOOD DOOR	PA	PUBLIC ADDRESS SYSTEM
CND		CARPET TILE	PL	PLATE
CPT			PNL	PANEL
			PS	PIPE SPACE
DET	-D-	DETAIL	PL	PLASTIC LAMINATE
DF		DRINKING FOUNTAIN	PLYW	PLYWOOD
DIA		DIAMETER	PT CONC	PAINTED CONCRETE
DIAG		DIAGONAL	POL	POLISHED
DIF		DIFFUSER	PP	POWER PANEL
DIM		DIMENSION	PPG	POLISHED PLATE GLASS
DR		DRAIN	PREF.	PREFINISHED
			PDO	POWER DOOR OPERATOR
			QT	QUARRY TILE
ELECT	-E-	ELECTRICAL		
EN		ENAMEL	QT	QUARRY TILE
EP		EPOXY	RB	RUBBER BASE
EX		EXISTING	R	RADIUS
EXT		EXTERIOR	REINF	REINFORCED
EXPAJN JT		EXPANSION JOINT	RH	ROBE HOOK
EXT		EXTERIOR	RWL	RAIN WATER LEADER
ET		EXHAUST FAN	RAD	RADIATOR
EL		ELEVATION	RD	ROOF DRAIN
ELEC CAB		ELECTRIC CABINET	RO	ROUGH OPENING
EXP		EXPOSED	RTR	RUBBER TILE
EXIST		EXISTING	RBR	RUBBER TREADS & FLOORING
EO		ELECTRICAL OUTLET	RWL	RAIN WATER LEADER
EW		EYEWASH		
FC	-F-	FILE CABINET	SCRN	SCREEN
FE		FIRE EXTINGUISHER	SG	SEMIGLOSS
FEC		FIRE EXTINGUISHER CABINET	SHT V	SHEET VINYL
FHC		FIRE HOSE CABINET	SIL	SILICONE
FIN		FINISHED	SAT	SUSPENDED ACOUSTIC TILE
FL		FLOOR	SEM-REC	SEMI-RECESSED
F RET		FIRE RETARDANT	SM	SIMILAR
FOOT		FOOT	SAN	SANITARY
FS		FLOOR SOCKET	SCW	SOLID CORE WOOD
FTG		FOOTING	SPEC	SPECIFICATIONS
FURR		FURRED	S&V	STAIN AND VARNISH
FD		FLOOR DRAIN	SS	SLIP SINK
FH		FUME HOOD	S.S.TL	STAINLESS STEEL
FIN GR		FINISH GRADE	ST	STEEL
FIN FL		FINISH FLOOR	STRUC	STRUCTURAL
FA		FIRE ALARM	SUSP	SUSPENDED
FRR		FIRE RESISTANCE RATING	SD	SOAP DISPENSER
FG		FIXED GLAZING	SND	SANITARY NAPRIN HOLDER
GLP	-G-	GLAZED COATING PAINT		
GL		GLAZED GLASS		
GRAN		GRANITE	TB	TACKBOARD
GALV		GALVANIZED	TERRAZO	TERRAZZO
GR		GRADE	THRESH	THRESHOLD
GR BM		GRADE BEAM	TEMP	TEMPERED GLASS
GRD		GROUND	TEL	TELEPHONE
GB		GYPSSUM BOARD	TPO	TOILET PAPER DISPENSER
GWG		GEORGIAN WIRD GLASS	TYP	TYPICAL
GB1		GRAB BAR TYPE 1	TRNSP	TRANSPARENT
			T&B	TOP & BOTTOM
			T&G	TONGUE AND GROOVE
H	-H-	HARDENER	U/V	UNIT VENTILATOR
HD BD		HUB DRAIN	U/S	UNDERSIDE
HM		HOLLOW METAL	UR	URINAL
INDRL		HANDRAIL	U.N.O.	UNLESS NOTED OTHERWISE
HOR		HORIZONTAL		
HR		HANDRAIL		
HT		HEIGHT		
HTG		HEATING	V	VINYL
HB		HOSE BIB	VT	VINYL TILE
HD		HYDRANT	VAL	VALANCE
HTR		HEATER	VAR	VARNISH
HVAC		HEATING, VENTILATING & AIR CONDITIONING	VRT	VINYL RESILIENT TILE
			VCF	VINYL COATED FABRIC
HW		HOT WATER	VCB	VINYL COVE BASE
HD		HAND DRYER	VERT	VERTICAL
HRD		HAIR DRYER	VRS	VARIABLES
HSS		HOLLOW STRUCTURAL SECTION	VCT	VINYL COMPOSITE TILE
HPL		HIGH PRESSURE LAMINATE	VP	VINYL PLANK FLOORING
			VF	VINYL FLOOR
IN	-I-	INCHES	WB	WHITE BOARD
INSUL		INSULATION	W/C	WATER CLOSET
INT		INTERIOR	WD	WOOD
INVT		INVERT	WP	WATERPROOFING
ID		INSIDE DIAMETER	WR	WATER RESILIENT
IP		IRON PIPE		
IM		INSULATED HOLLOW METAL		
IST		INSULATED STEEL		

GENERAL CONSTRUCTION NOTES

- GENERAL
- THE CONTRACTOR WILL CONSTRUCT THE BUILDING IN ACCORDANCE WITH THE APPROVED PERMIT DRAWINGS & THE CONSTRUCTION DOCUMENTS INCLUDING THESE DRAWINGS & SPECIFICATIONS FROM THE BASIS OF THE CONSTRUCTION DOCUMENTS.
- IT IS THE RESPONSIBILITY OF EACH TRADE TO UNDERSTAND THE REQUIREMENTS OF ALL ASPECTS OF THESE DOCUMENTS THAT RELATE TO THEIR WORK. COMMENCEMENT OF WORK BY ANY TRADE MEANS ACCEPTANCE OF THE CONDITIONS THAT APPLY TO THEIR WORK.
- THESE DOCUMENTS ARE TO BE READ AS A WHOLE. NEITHER THE ARRANGEMENT OR ORGANIZATION OF THESE DOCUMENTS SHALL CONTROL OR LIMIT THE CONTRACTOR OR TRADE TO THEIR RESPONSIBILITY TO COMPLETE THEIR WORK ACCORDING TO THESE DOCUMENTS.
- ALL CONSTRUCTION WILL COMPLY WITH THE REQUIREMENTS OF ONTARIO BUILDING CODE (O.B.C.)
- THE CONTRACTOR WILL MAINTAIN ON SITE AT ALL TIMES, COPIES OF THE APPROVED PERMIT DRAWINGS, THE ONTARIO BUILDING CODE, & THE CONSTRUCTION DOCUMENTS INCLUDING THE ARCHITECTURAL DRAWINGS & SPECIFICATIONS. ALL SUPPLEMENTAL INSTRUCTIONS, CHANGE NOTICES & DIRECTIVES, APPROVED SHOP DRAWINGS, & ALL ENGINEERING REPORTS.
- THE CONTRACTOR WILL MAINTAIN A CLEAN SITE, FREE FROM DEBRIS AND WASTE MATERIAL. PROVIDE WASTE CONTAINERS FOR USE BY ALL TRADES.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND INFORMATION ON SITE AND REPORT ANY DISCREPANCY TO ARCHITECT BEFORE PROCEEDING.

GENERAL NOTES

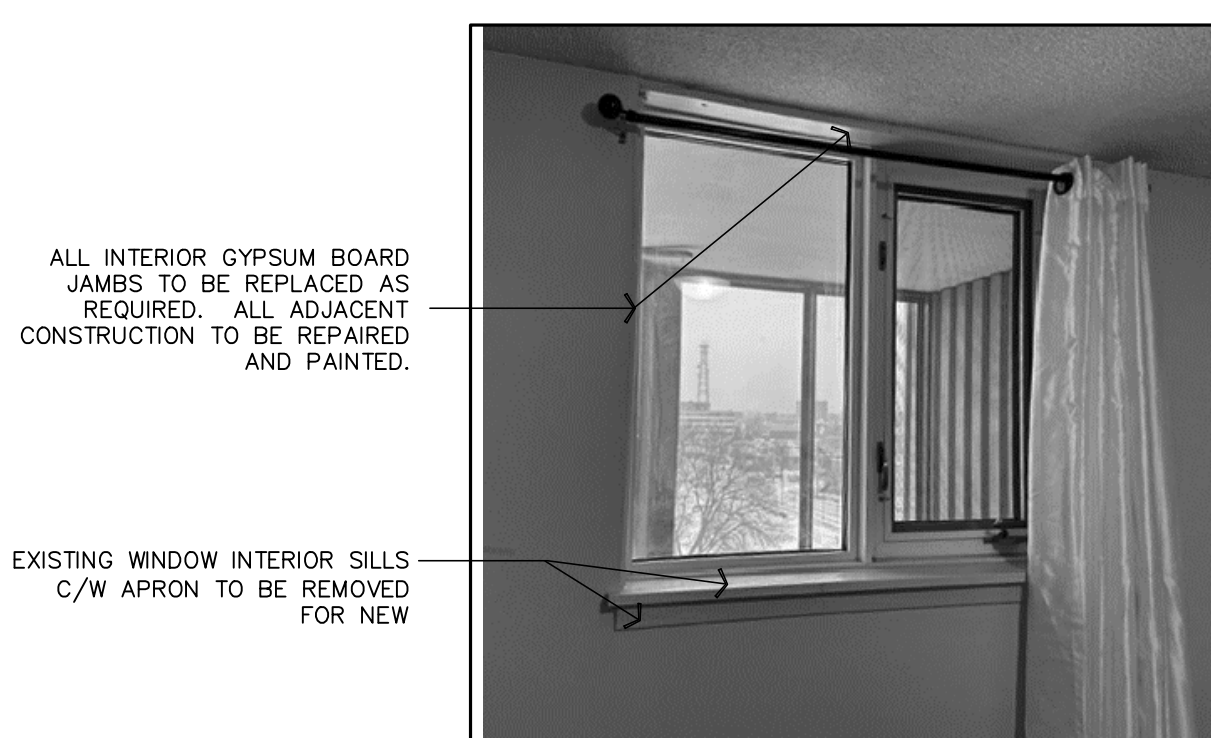
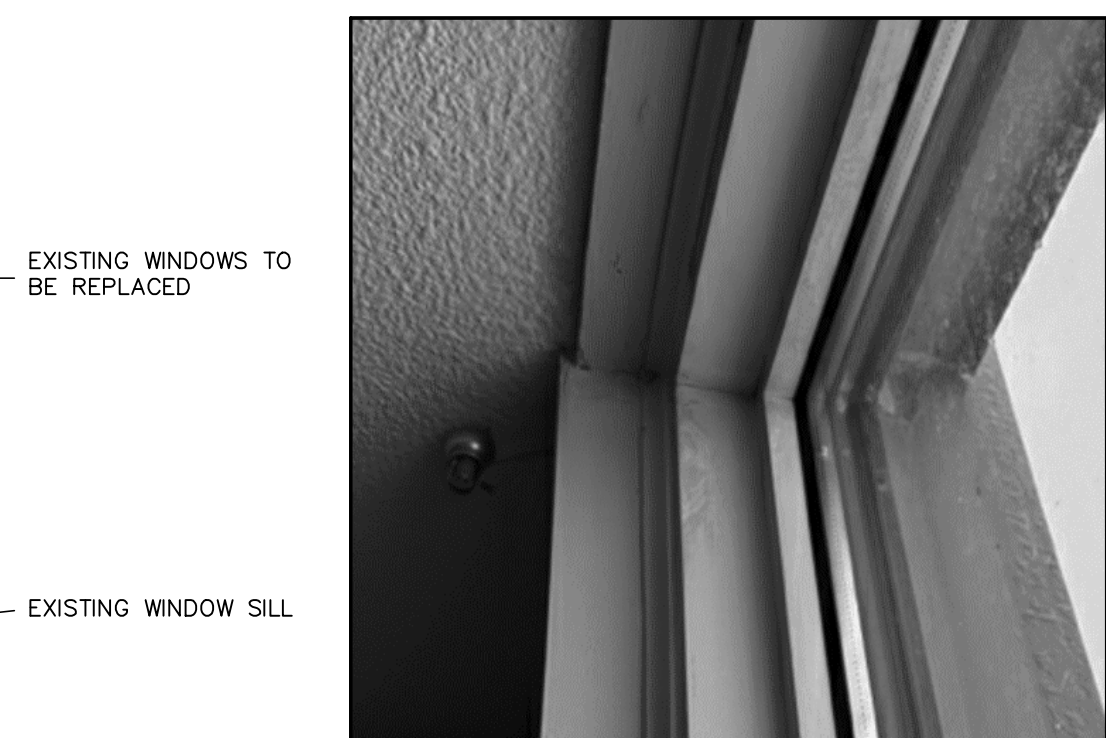
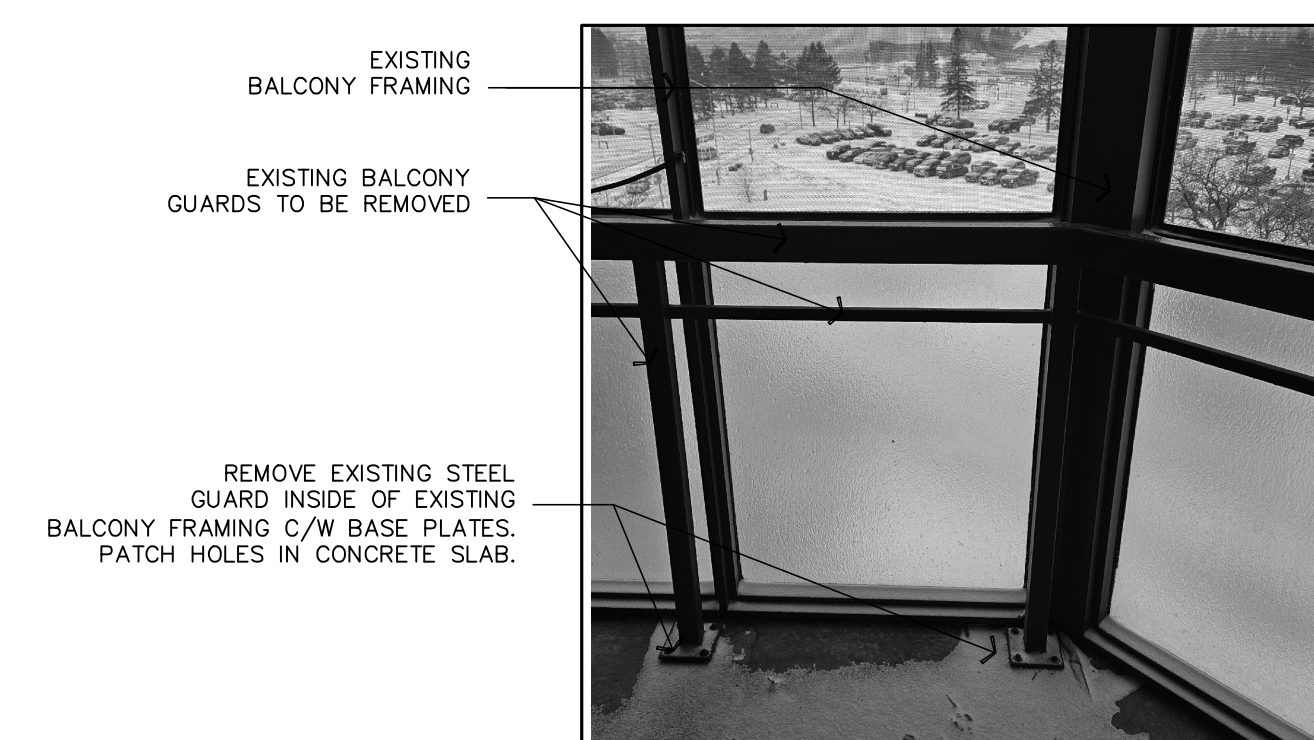
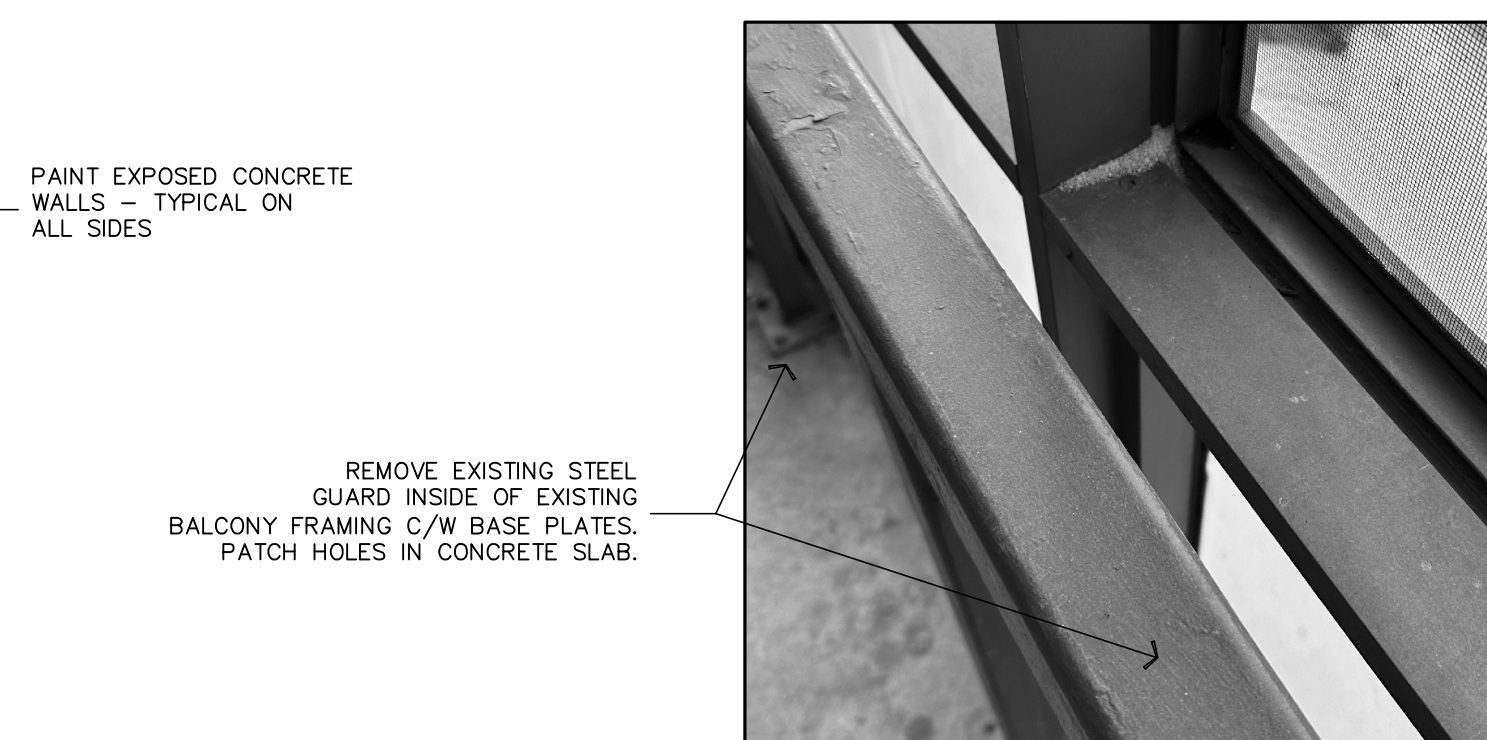
- REFER TO SCREEN AND WINDOW SHOP DRAWINGS STAMPED BY A LICENSED ONTARIO ENGINEER FOR ALL STRUCTURAL COMPONENTS, CONNECTION/INSTALLATION DETAILS AND FASTENER SYSTEMS.
- ALL AIR/VAPOUR BARRIER AT ALL EXTERIOR WALLS TO BE SEALED AGAINST ALL DOOR, WINDOW ASSEMBLIES, CURTAIN WALLS AND AND AT FLOOR, CEILING AND ROOF WHERE APPLICABLE.
- UNLESS OTHERWISE NOTED, ALL GYPSUM WALL BOARD WINDOW JAMBS EXTEND TO THE UNDERSIDE OF SLAB.
- BALCONY HANDRAILS (TYP.) TO BE PROVIDED WITH BRACKETS AT EVERY SCREEN VERTICAL.
- FOR WINDOW AND SCREEN QUANTITIES AND TYPES REFER TO PLANS

DIMENSIONING NOTES

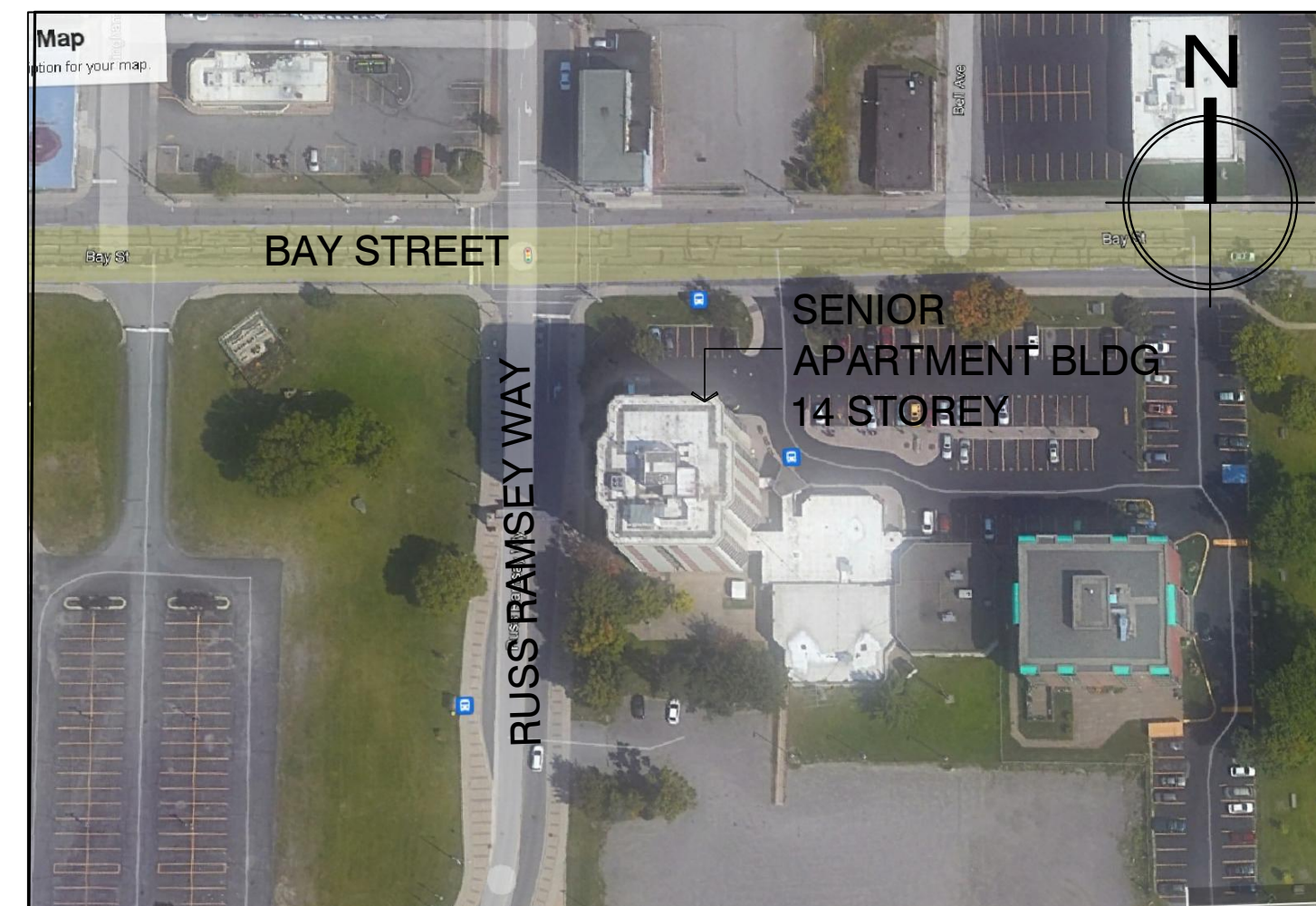
- ALL INTERIOR DIMENSIONS ARE TO FINISHED FACE OF PARTITION UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS LOCATING DOOR FRAMES ARE TO FINISHED FACE OF PARTITION UNLESS OTHERWISE NOTED.
- ALL PLUMBING FIXTURE LOCATIONS ARE DIMENSIONED FROM FINISHED FACE OF WALL.
- ALL ELECTRICAL FIXTURE LOCATIONS ARE DIMENSIONED FROM FINISHED FACE OF WALL.
- ALL DIMENSIONS WITHIN SHAFTS ARE FROM FINISHED FACE OF WALL.
- EXTERIOR DIMENSIONS ARE TO BLOCK MASONRY. REFER TO SECTIONS AND STRUCTURAL DWGS. FOR LOCATION OF FOUNDATION WALLS RELATIVE TO MASONRY LOCATION.
- DIMENSIONS FOR WINDOWS AND WALL OPENINGS ARE BASED ON ROUGH OPENINGS. ALLOW REQUIRED EXPANSION GAP FOR WINDOW SIZE WITHIN THE ROUGH OPENING.

DRAWING LIST

- A1.1 - KEY PLAN, OBC MATRIX AND GENERAL NOTES
- A2.1 - FLOOR PLANS
- A4.1 - NORTH AND SOUTH BUILDING ELEVATIONS
- A4.2 - NORTH AND WEST BUILDING ELEVATIONS
- A5.1 - BALCONY SCREEN PLANS, WINDOW TYPES AND PLAN DETAILS
- A5.2 - BALCONY SCREEN SECTIONS AND SECTION DETAILS



Ontario Building Code Data Matrix Part 3				Building Code Reference 1
3.00	Building Code Version:	O. Reg. 332/12	Last Amendment	O. Reg. 191/14
3.01	Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation	[A] 1.1.2.	
	Description: Senior Apartment Building - 14 Storey Window / Balcony Screen Replacement			
3.02	Major Occupancy Classification:	Occupancy Group B	Use Senior Apartment Building	3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	Description: Group B	3.2.2.7.
3.04	Building Area (m2):	Description: Existing Building Area - LTC	Existing: 8,188 New: 0 Total: 8,188	[A] 1.4.1.2.
3.07	Building Height:	14 Storeys above grade	38 m (m) Above grade	[A] 1.4.1.2 & 3.2.1.1.
		0 Storeys below grade		
3.08	High Building:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.6.
3.09	Number of Streets/Firefighter access:	3 street(s)		3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.38 Group/Div Group B, any Height, any Area, Sprinklered		3.2.2.38
	Sprinkler System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required	Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none	3.2.1.5. & 3.2.2.17.
	Standpipe System:	<input type="checkbox"/> Not required <input checked="" type="checkbox"/> Required		3.2.9.
	Fire Alarm System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required	Proposed: <input type="checkbox"/> Single stage <input checked="" type="checkbox"/> Two stage <input type="checkbox"/> None	3.2.4.
3.14	Water Service / Supply is Adequate:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		
3.15	Construction Type:	Restriction: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required	Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination	3.2.2.38 & 3.2.1.4.
		Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		
3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter		4.1.2.1.(3) & T4.1.2.1.B
3.12		<input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances		
3.13		<input type="checkbox"/> Post-disaster		
3.17	Seismic Hazard Index:	(IE Fa Sa (0.2)) = 0.062	Seismic design required for Table 4.1.1.18. items 6 to 21: ((IE Fa Sa (0.2)) > 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1.(3) 4.1.8.18.(2)
3.25	Notes:			



PROJECT KEYPLAN

N.T.S.

FINISH SYMBOL	MATERIAL DESIGNATIONS
	PLANS / SECTIONS
	BRICK MASONRY
	BLOCK MASONRY
	CONC. STRUCTURE
	GLAZING
	WOOD (FINISHED)
	PLYWOOD
	STRUCTURAL STEEL
	GLAZING
	FIRE STOP
	RIGID INSULATION
	BATT INSUL.
	EARTH
	GRAVEL FILL
	GYP. BOARD
	SEALANT

ROOM - ROOM NAME	PLAN AND SECTION SYMBOLS
XXX - ROOM NUMBER	EXTERIOR WALL CONSTRUCTION TYPES (SEE ALSO WALL TYPE SCHEDULE)
INDICATES DETAIL NUMBER	PARTITION CONSTRUCTION TYPES (SEE ALSO PARTITION TYPE SCHEDULE)
INDICATES DRAWING SHEET WHERE DETAIL IS LOCATED	ROOF CONSTRUCTION TYPES (SEE ALSO PARTITION TYPE SCHEDULE)
INDICATES ELEVATION NUMBER	FLOOR CONSTRUCTION TYPES (SEE ALSO FLOOR TYPE SCHEDULE)
INDICATES DRAWING SHEET WHERE ELEVATION IS LOCATED	SCREEN NUMBER (SEE ALSO DOOR SCHEDULE)
INDICATES SECTION NUMBER	DOOR NUMBER (SEE ALSO DOOR SCHEDULE)
INDICATES DRAWING SHEET WHERE SECTION IS LOCATED	EXTERIOR GLAZING TYPES (SEE ALSO WINDOW SCHEDULE)
GRID REFERENCE NUMBER	EXTERIOR FINISH REFERENCE
	ELEVATION
	INDICATES EXISTING GRADE ELEVATION
	INDICATES NEW GRADE ELEVATION
	INDICATES ELEVATION DATUM
	EYEWASH STATION (SEE ALSO MECH. DRAWINGS)
	FIRE EXTINGUISHER CABINET (SEE ALSO MECH. DRAWINGS)
	FIRE HOSE CABINET (SEE ALSO MECH. DRAWINGS)
	ELECTRICAL PANEL (SEE ALSO ELEC. DRAWINGS)
	FIRE ALARM ANNUNCIATOR PANEL (SEE ALSO ELEC. DRAWINGS)
	DETAIL REFERENCE

123 East Street
Sault Ste. Marie, ON
P6A 3C7

705.942.9494
www.mgp-arch-eng.ca

NOTES:

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1	ISSUED FOR TENDER	04/24/24
REV:	DESCRIPTION:	DATE:
STATUS: ISSUED FOR TENDER		



SSM HOUSING AUTHORITY
14 STOREY APARTMENT BLDG
WINDOW AND BALCONY SCREEN
REPLACEMENT AND RENOVATION

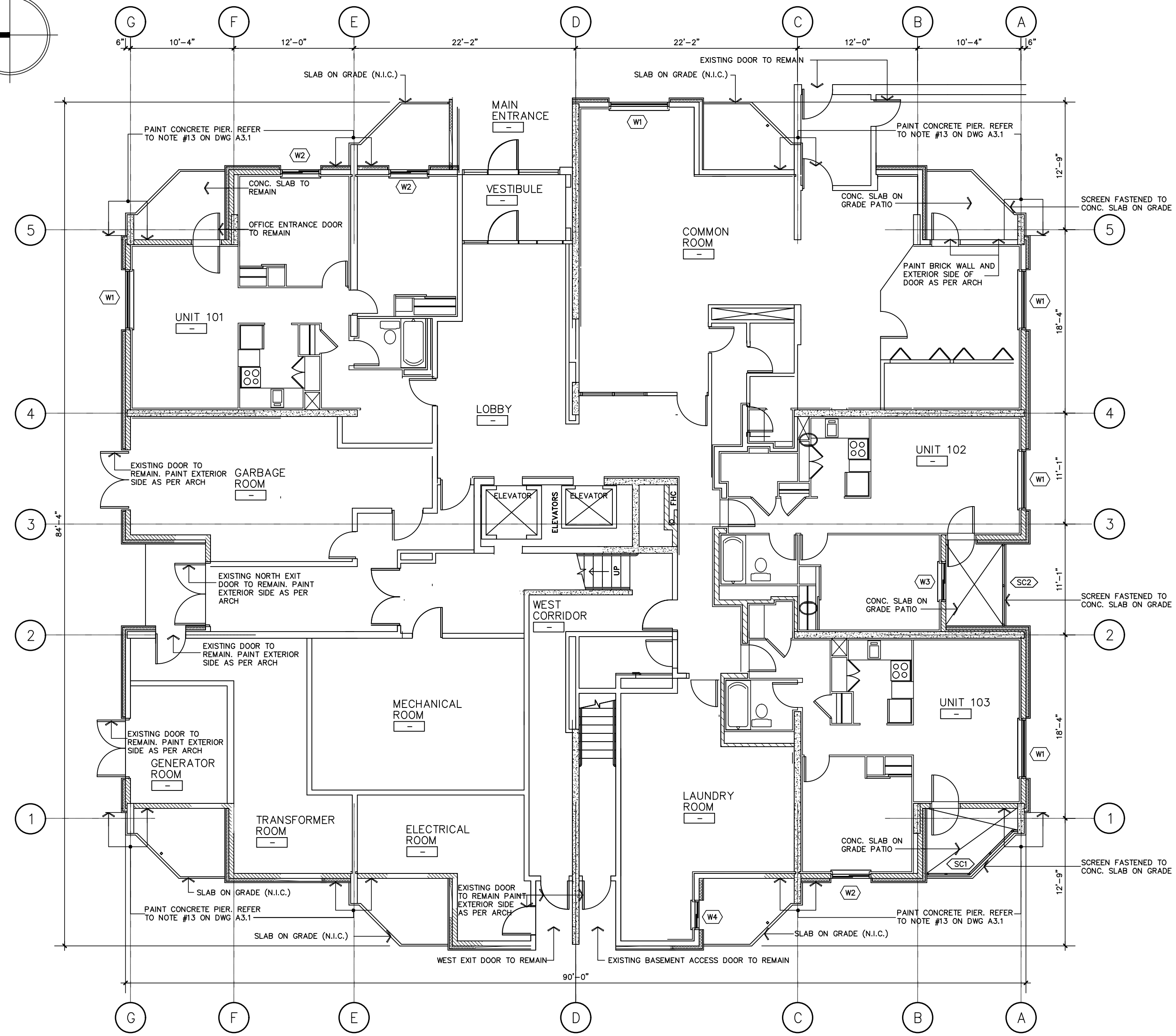
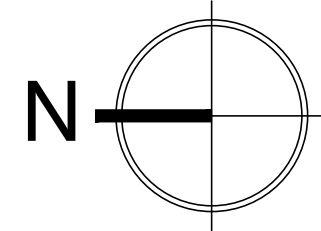
CLIENT: SAULT STE MARIE HOUSING AUTHORITY

LOCATION: 615 BAY STREET, SAULT STE. MARIE, ON

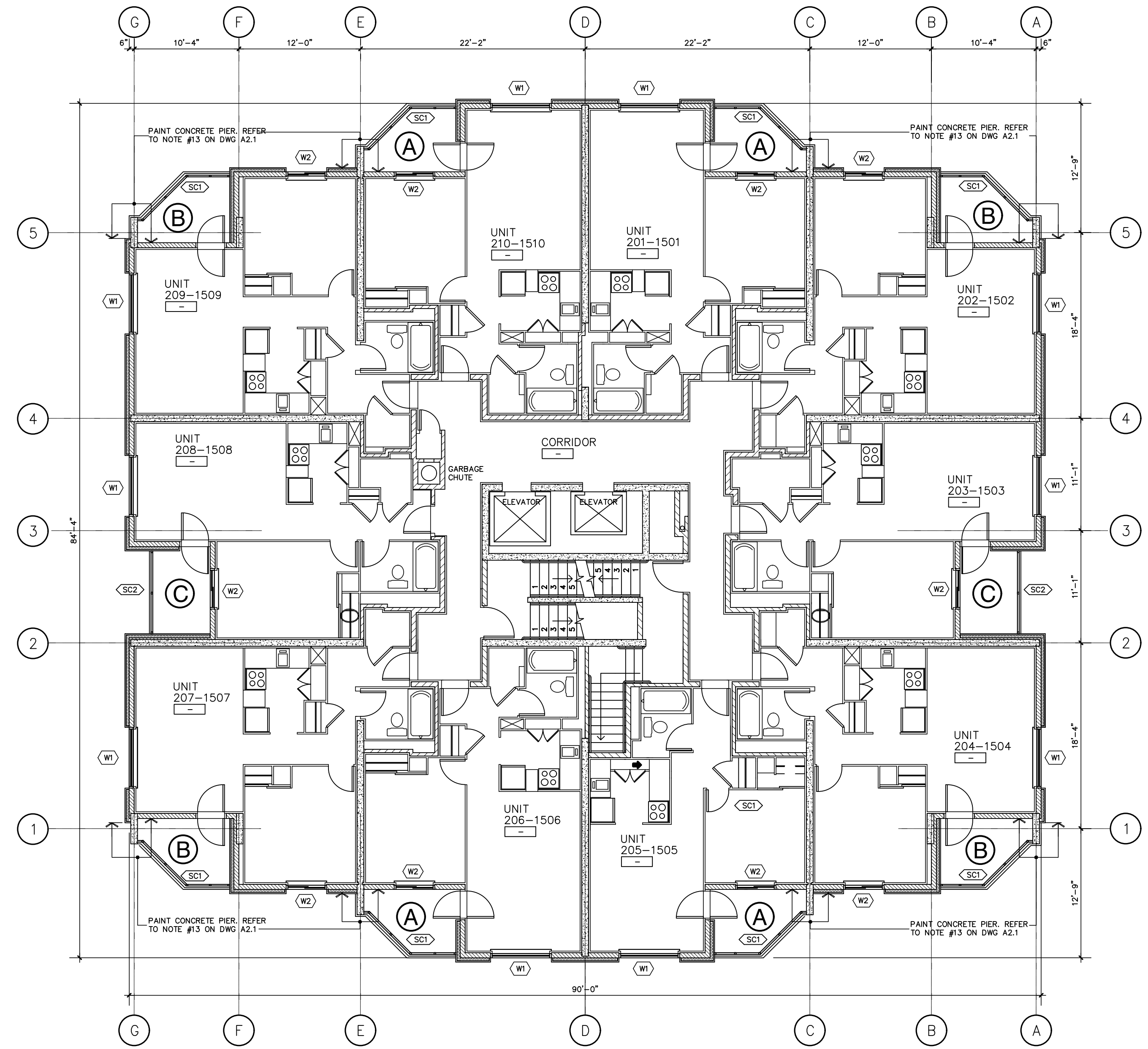
KEY PLAN:

DRAWING TITLE:
KEY PLAN
OBC MATRIX
GENERAL NOTES AND LEGENDS

SCALE: AS NOTED	DATE: 04/16/24	DRAWN:
PROJECT NUMBER: 24001	DRAWING NUMBER:	A1.1
DWG FILE:		



1 1st FLOOR PLAN
A2.1 SCALE: 1/8"=1'-0"



2 TYPICAL FLOOR PLAN - 2nd TO 15th FLOORS
A2.1 SCALE: 1/8"=1'-0"

- GENERAL DEMOLITION NOTES:**
- ALL WINDOWS AND SCREENS DEEMED TO BE REMOVED SHALL BE REMOVED OFF-SITE UNLESS SPECIFICALLY NOTED TO BE TURNED TO THE OWNER.
 - PROTECT EXISTING FLOORS, WALLS, BALCONIES, AND OTHER PERMANENT FIXTURES FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OF THE WORK. AS A MINIMUM, USE POLYETHYLENE TO PROTECT EXISTING FIXTURES.
 - REFER TO OWNER FOR OSS REPORT AND FOR EXTENT OF OS REMOVALS AND REMEDIATION REQUIREMENTS.
 - AS INDICATED IN THE SPECIFICATIONS, CONTRACTORS REQUIRED TO REVIEW ON-SITE STATUS OF REMOVALS UNDERTAKEN WITHIN CONSTRUCTION SITE.

REF.	DESCRIPTION
(A)	BALCONY STYLE (SEE ENLARGED PLAN ON DWG A5.1)
(SC1)	BALCONY SCREEN TYPE
(W1)	WINDOW TYPE

- SCOPE OF WORK**
- REMOVE EXISTING WINDOWS AS INDICATED ON DRAWINGS A4.1 AND A4.2 INCLUDING ALL ALUMINUM FRAMES, GLAZING, CAULKING, FASTENERS, INSULATION, SILLS, TRIMS, ETC. EXISTING METAL FLASHINGS AND WALL VAPOUR BARRIERS TO REMAIN WHERE APPLICABLE. DISPOSE ALL OFF-SITE AND MAKE READY FOR NEW WINDOW INSTALLATION.
 - REMOVE EXISTING BALCONY SCREENS AS INDICATED ON DRAWINGS A4.1 AND A4.2 INCLUDING ALL VERTICAL AND HORIZONTAL ALUMINUM SCREEN MEMBERS, CAULKING, INSULATION, BRACKETS, FASTENERS, ETC. DISPOSE ALL OFF-SITE AND MAKE READY FOR NEW ALUMINUM SCREEN INSTALLATION.
 - REMOVE EXISTING BALCONY GUARD RAILS, INCLUDING HORIZONTAL HSS RAIL AND VERTICAL SUPPORTS, BASE PLATES AND BOLTS. MAKE READY FOR NEW BALCONY SCREEN GUARD INSTALLATION.
 - INSTALL NEW ALUMINUM WINDOWS. (CONTRACTOR SHALL FIELD MEASURE EACH WINDOW OPENING PRIOR TO ORDERING AND FABRICATION). WINDOW INSTALLATION SHALL INCLUDE ALL FASTENERS AS REQUIRED. INSTALL FOAM INSULATION AROUND WINDOW WITH FOAM ROPE AND CAULKING AS PER DETAILS ON DRAWINGS A5.1 AND A5.2. ENSURE NEW WINDOW FRAME IS SEALED TO EXISTING WALL VAPOUR BARRIER AND AIR BARRIER.
 - INSTALL NEW HARDWOOD WINDOW SILLS AND TRIMS AS SHOWN ON DRAWINGS A5.1 AND A5.2 AND PAINT TO MATCH EXISTING WALL. PATCH AND REPAIR EXISTING GYPSUM BOARD JAMB AND HEADER RETURNS TO NEW WINDOW AS REQUIRED AND MAKE GOOD. SEAL ALL AROUND WINDOW FRAME WITH CLEAR SILICONE ON THE INTERIOR SIDE.
 - INSTALL NEW BALCONY SCREEN FRAMES, TYPES SC1 AND SC2 AS SHOWN ON DRAWINGS A4.1 AND A4.2 INCLUDING ALL BRACKETS AND FASTENERS AS REQUIRED AND AS SHOWN ON SCREEN SHOP DRAWINGS. PROVIDE DRAINAGE GAP/HOLES UNDER SCREEN SILL TO PROVIDE DRAINAGE FROM BALCONY. CAULK AND SEAL ALL AROUND BOTH SIDES AND TOP TO MATCH NOTE. SCREENS ACT AS THE BALCONY GUARDRAIL AND ALL COMPONENTS SHALL BE DESIGNED AS PER OBC 4.1.5.14 LOADS ON GUARDS.
 - REPAIR ALL EXISTING GUARD RAIL BASE PLATE BOLT HOLES WITH GROUT AND MAKE GOOD.
 - ALL BALCONY ALUMINUM SCREEN FRAMING SHALL BE DESIGNED BY A LICENSED ONTARIO ENGINEER WITH THEIR PROFESSIONAL SEAL ON ALL ALUMINUM SCREEN SHOP DRAWINGS. BALCONY SCREENS SHALL BE DESIGNED FOR ALL WIND LOADING AND SEISMIC LOADINGS, IF APPLICABLE, AND GUARD RAIL LOADINGS AS PER NOTE #6.
 - INSTALL ALL NON-THERMAL GLAZING IN THE BALCONY SCREENS. GLAZING SHALL BE DESIGNED AS PER OBC 4.1.5.14 LOADS ON GUARDS.
 - INSTALL BRD SCREENING IN BALCONY SCREENS AS REQUIRED.
 - INSTALL BALCONY HANDRAILING AS SHOWN ON DWGS A5.1 AND A5.2 AND PAINT AS PER ARCHITECT.
 - SCRAPE EDGE OF BALCONY SLABS FOR LOOSE PAINT AND MAKE READY FOR NEW PAINT. PAINT BALCONY SLAB EDGES INCLUDING CHAMFER WITH 2 COATS OF PAINT, COLOUR BY ARCHITECT.
 - SCRAPE EXPOSED CONCRETE PIERS AS SHOWN ON ELEVATION DRAWINGS A4.1 AND A4.2 AND MAKE READY FOR NEW PAINT. PAINT EXPOSED CONCRETE PIERS WITH 2 COATS OF PAINT, COLOUR BY ARCHITECT.

NOTES:
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1	ISSUED FOR TENDER	04/24/24
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STATUS: ISSUED FOR TENDER		



**SSM HOUSING AUTHORITY
14 STOREY APARTMENT BLDG
WINDOW AND BALCONY SCREEN
REPLACEMENT AND RENOVATION**

CLIENT: SSAULT STE MARIE HOUSING AUTHORITY
LOCATION: 615 BAY STREET
SAULT STE. MARIE, ON

KEY PLAN:

DRAWING TITLE:
FLOOR PLANS

SCALE: AS NOTED	DATE: 04/16/24	DRAWN: MM
PROJECT NUMBER: 24001	DRAWING NUMBER: A2.1	
DWG FILE:		

NOTES:

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1	ISSUED FOR TENDER	04/24/24
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STATUS:		
ISSUED FOR TENDER		



PROJECT: SSM HOUSING AUTHORITY
14 STOREY APARTMENT BLDG
WINDOW AND BALCONY SCREEN
REPLACEMENT AND RENOVATION

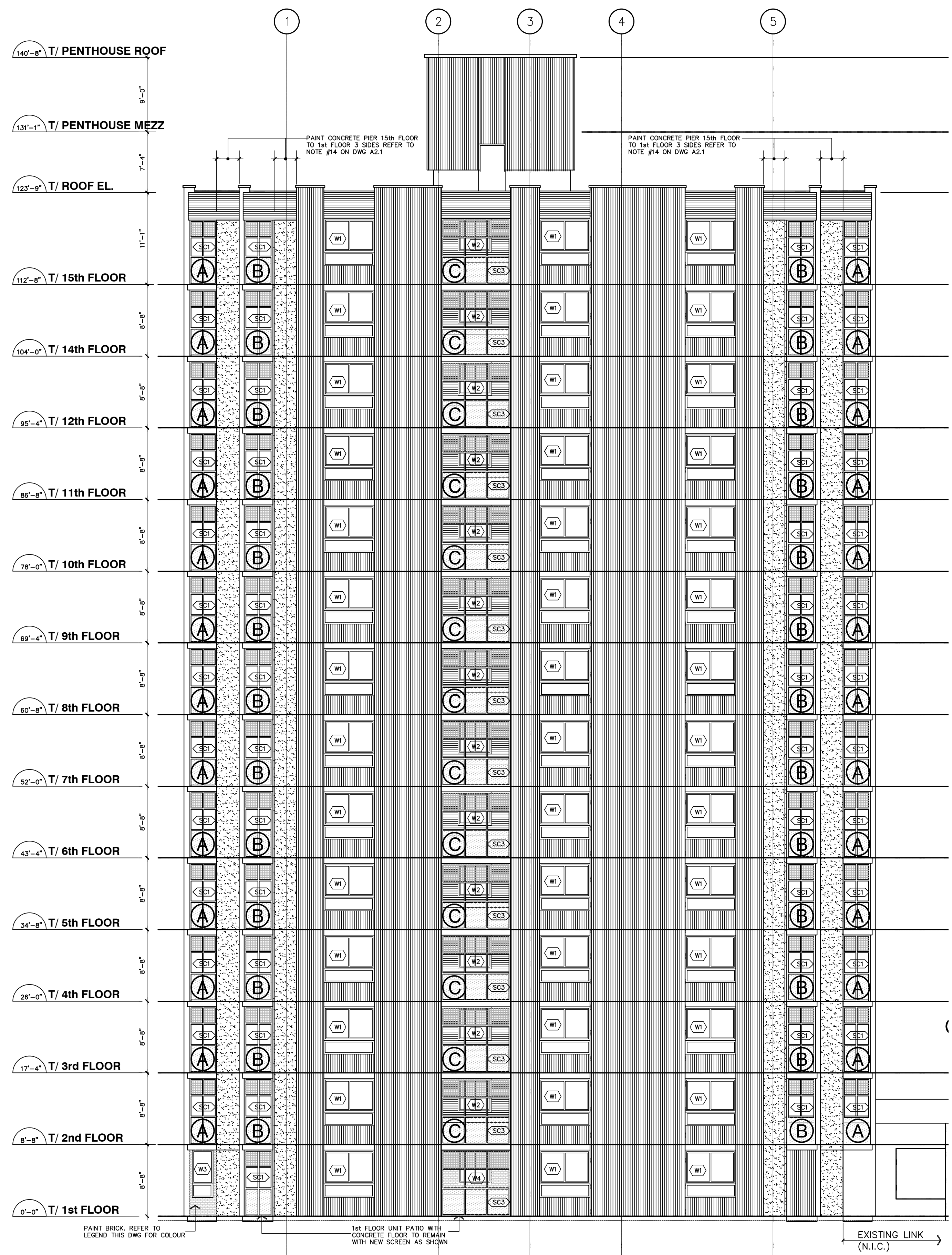
CLIENT: SAULT STE MARIE HOUSING AUTHORITY

LOCATION: 615 BAY STREET
SAULT STE. MARIE, ON

KEY PLAN:

DRAWING TITLE:
NORTH AND SOUTH
BUILDING ELEVATIONS

SCALE:	DATE:	DRAWN:
AS NOTED	04/16/24	JMM
PROJECT NUMBER:	DRAWING NUMBER:	
24001	A4.1	
DWG FILE:		



1 SOUTH BUILDING ELEVATION
SCALE: 1/8"=1'-0"

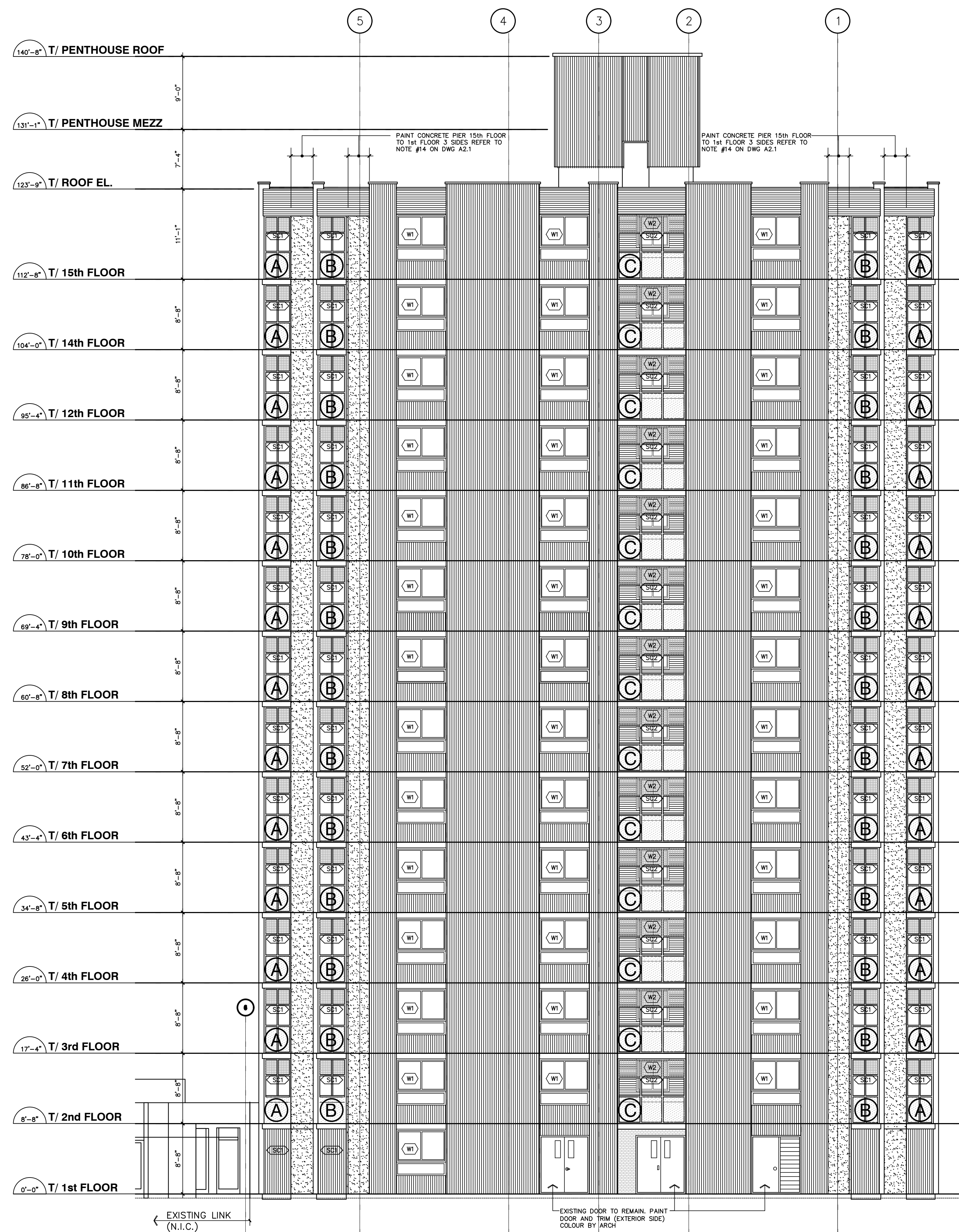
SOUTH ELEVATION WINDOWS AND SCREENS

(W1)	TOTAL SOUTH ELEVATION 42 WINDOWS
(W2)	TOTAL SOUTH ELEVATION 13 WINDOWS
(W3)	TOTAL SOUTH ELEVATION 1 WINDOW
(W4)	TOTAL SOUTH ELEVATION 1 WINDOW
(SC1)	TOTAL SOUTH ELEVATION 26 SCREENS
(SC2)	TOTAL SOUTH ELEVATION 27 SCREENS
(SC3)	TOTAL SOUTH ELEVATION 13 SCREENS

WALL MATERIAL LEGEND

(Pattern)	EXISTING BRICK TO BE PAINTED (1st FLOOR WHERE NOTED ONLY) REFER TO SPEC FOR PAINT TYPE AND COLOUR
(Pattern)	EXISTING EXPOSED CONCRETE TO BE PAINTED WHERE NOTED (ALL FLOORS) REFER TO SPEC FOR PAINT TYPE AND COLOUR
(Pattern)	EXISTING METAL SIDING TO REMAIN

REFER TO DWG A5.1 FOR NEW SCREEN AND WINDOW TYPES



2 NORTH BUILDING ELEVATION
SCALE: 1/8"=1'-0"

SOUTH ELEVATION WINDOWS AND SCREENS

(W1)	TOTAL SOUTH ELEVATION 40 WINDOWS
(W2)	TOTAL SOUTH ELEVATION 13 WINDOWS
(SC1)	TOTAL SOUTH ELEVATION 26 SCREENS
(SC2)	TOTAL SOUTH ELEVATION 27 SCREENS
(SC3)	TOTAL SOUTH ELEVATION 13 SCREENS

LEGEND

REF.	DESCRIPTION
(A)	BALCONY STYLE (SEE ENLARGED PLAN ON DWG A5.1)
(SC1)	BALCONY SCREEN TYPE
(W1)	WINDOW TYPE



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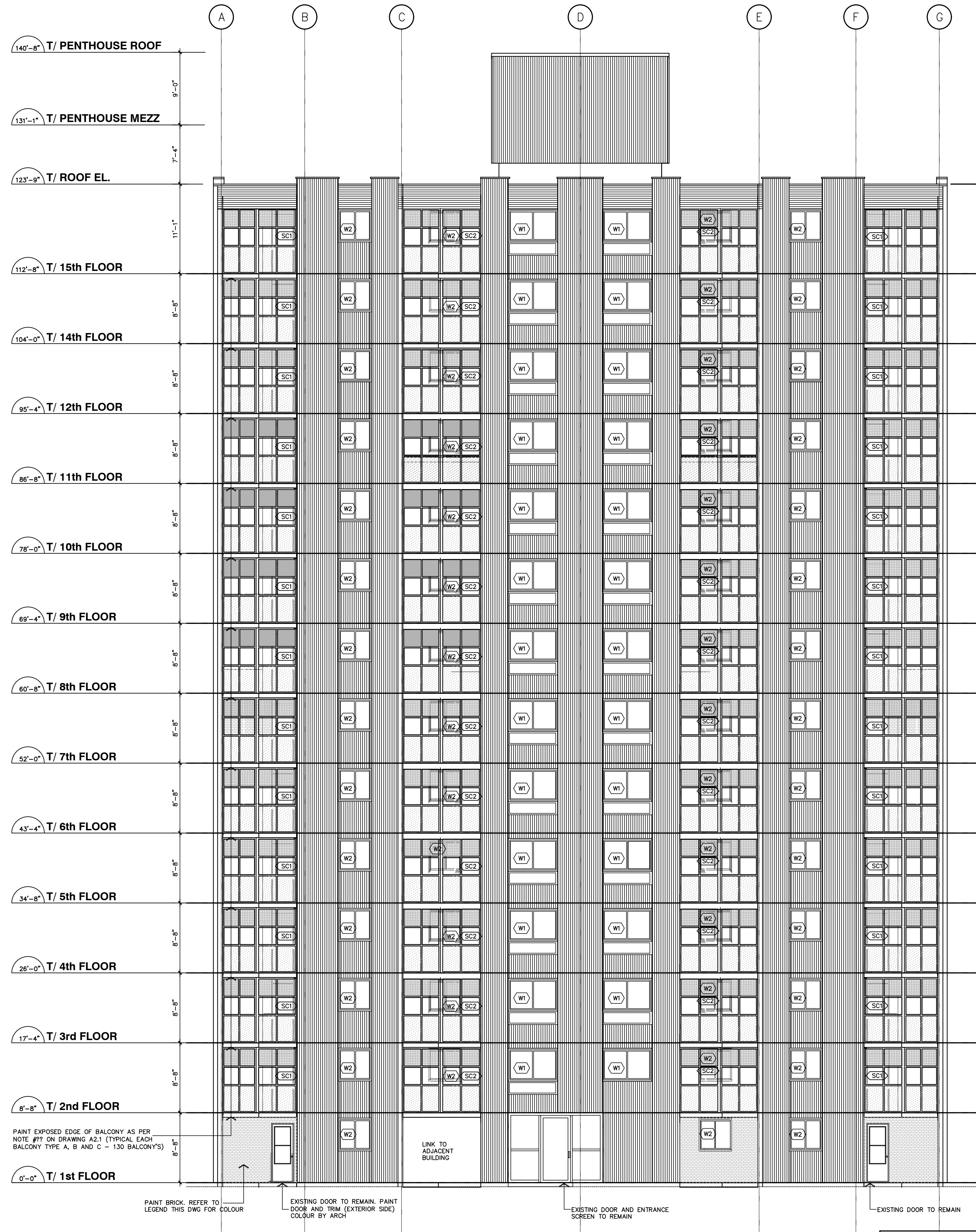
1	ISSUED FOR TENDER	04/24/24
REV:	DESCRIPTION:	DATE:
STATUS: ISSUED FOR TENDER		



PROJECT: SSM HOUSING AUTHORITY
 14 STOREY APARTMENT BLDG
 WINDOW AND BALCONY SCREEN
 REPLACEMENT AND RENOVATION
 CLIENT: SSM HOUSING AUTHORITY
 LOCATION: 615 DAY STREET
 SAULT STE. MARIE, ON

KEY PLAN:
 DRAWING TITLE:
 EAST AND WEST
 BUILDING ELEVATIONS

SCALE:	DATE:	DRAWN:
AS NOTED	04/16/24	MM
PROJECT NUMBER:	DRAWING NUMBER:	
24001	A4.2	
DWG FILE:		



1 EAST BUILDING ELEVATION
 SCALE: 1/8"=1'-0"

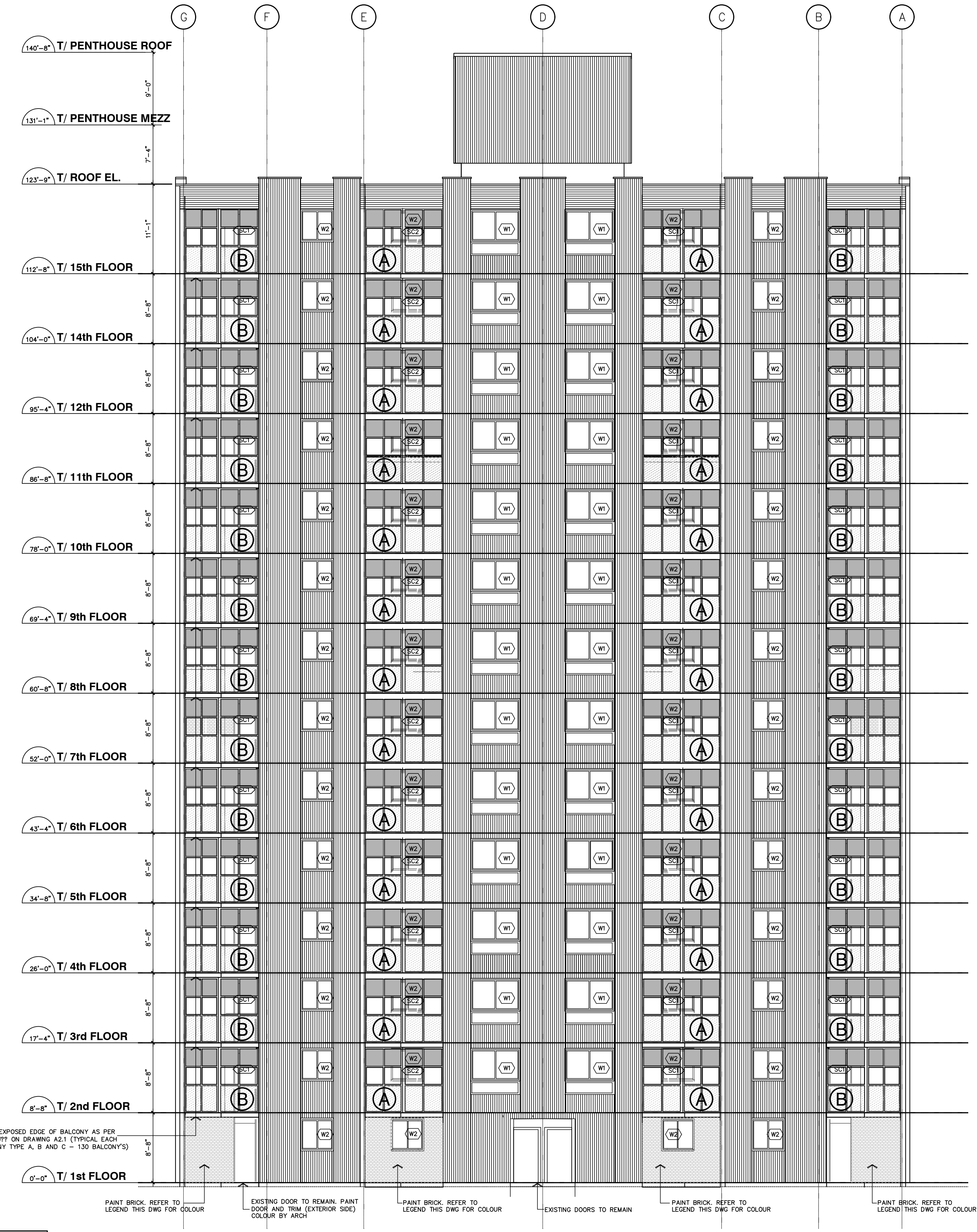
EAST ELEVATION WINDOWS AND SCREENS

(W1)	TOTAL EAST ELEVATION 26 WINDOWS
(W2)	TOTAL EAST ELEVATION 56 WINDOWS
(SC1)	TOTAL EAST ELEVATION 13 SCREENS
(SC2)	TOTAL EAST ELEVATION 26 SCREENS

WALL MATERIAL LEGEND

[Pattern]	EXISTING BRICK TO BE PAINTED (1st FLOOR WHERE NOTED ONLY) REFER TO SPEC FOR PAINT TYPE AND COLOUR
[Pattern]	EXISTING EXPOSED CONCRETE TO BE PAINTED WHERE NOTED (ALL FLOORS) REFER TO SPEC FOR PAINT TYPE AND COLOUR
[Pattern]	EXISTING METAL SIDING TO REMAIN

REFER TO DWG A5.1 FOR NEW SCREEN AND WINDOW TYPES



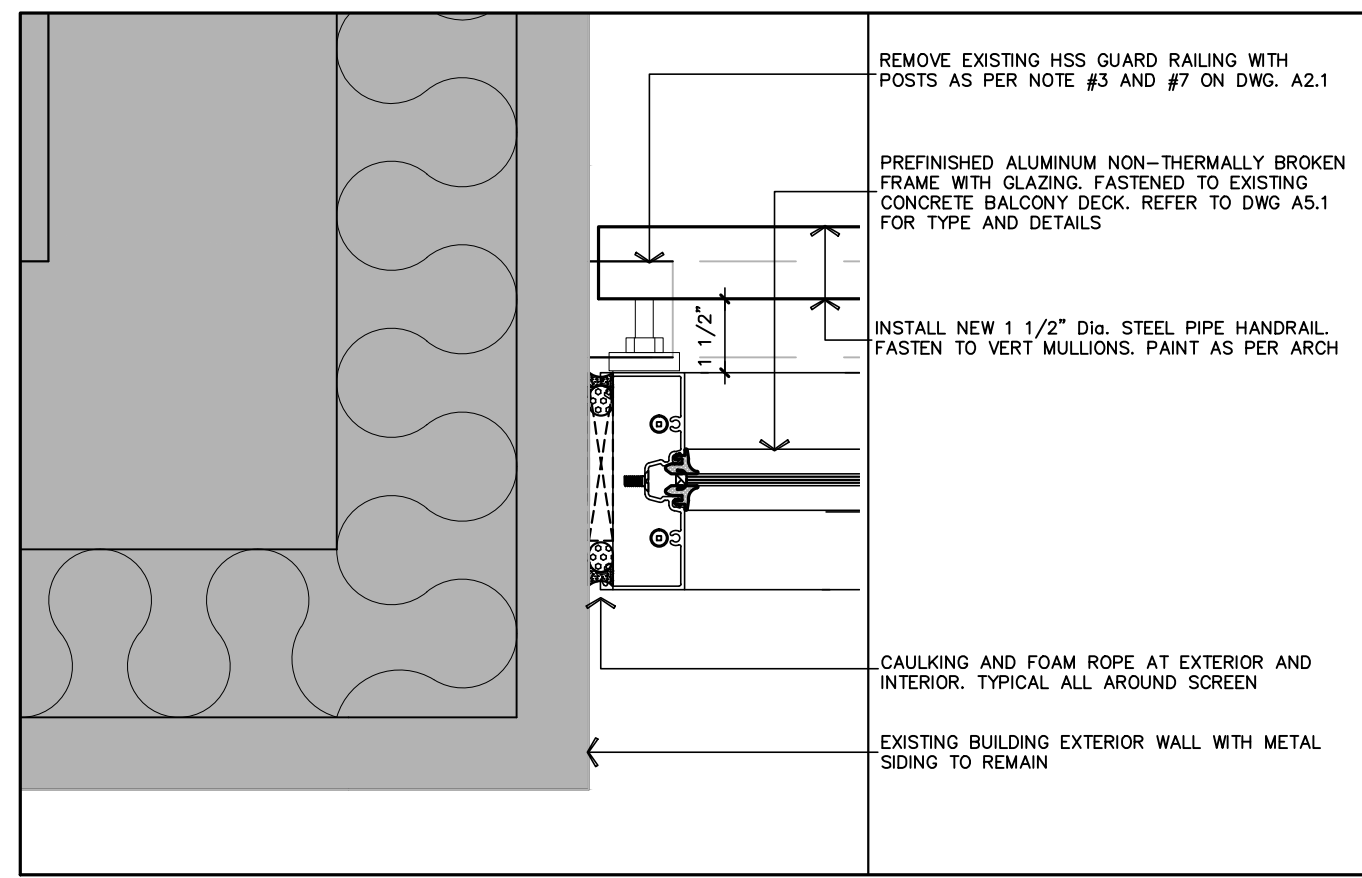
2 WEST BUILDING ELEVATION
 SCALE: 1/8"=1'-0"

WEST ELEVATION WINDOWS AND SCREENS

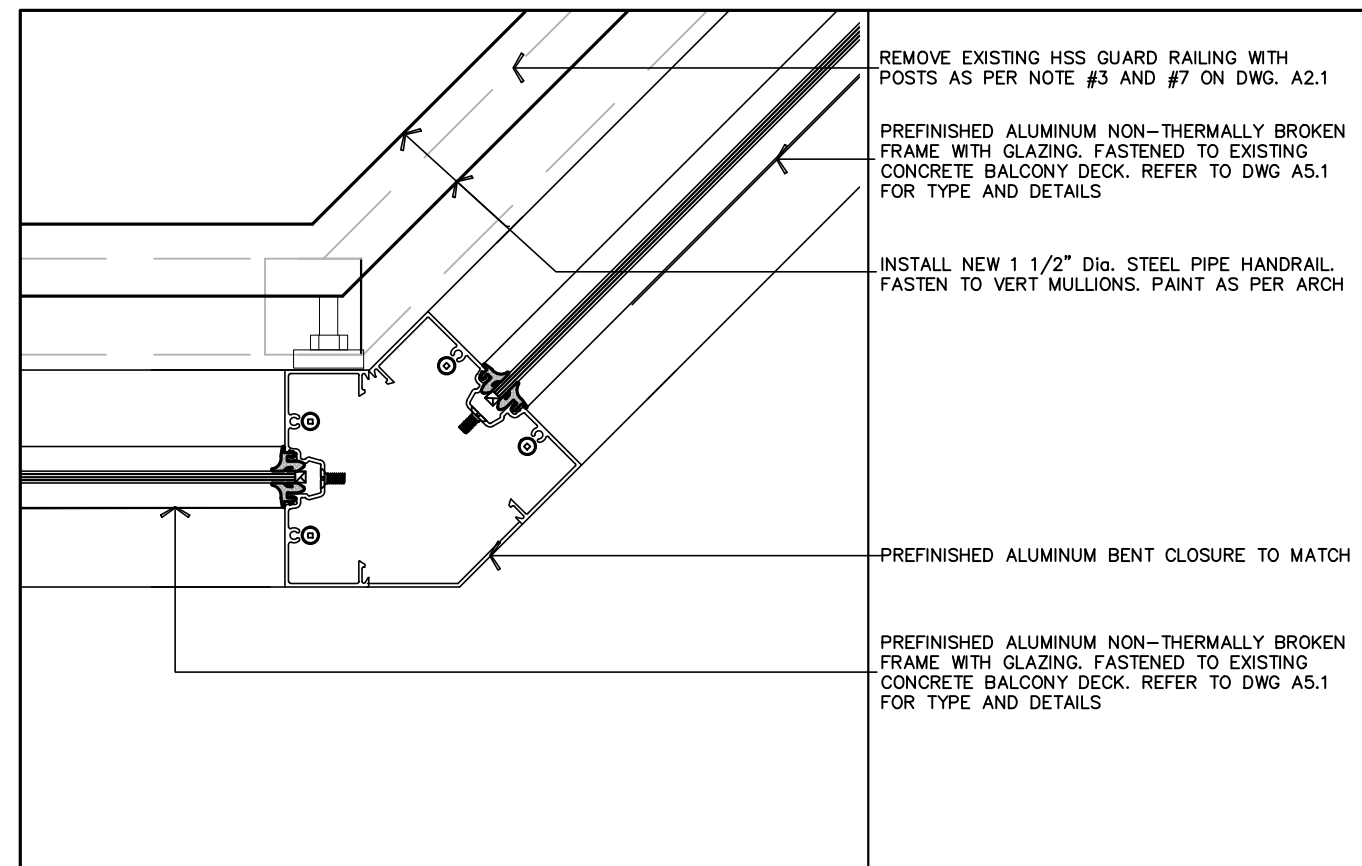
(W1)	TOTAL WEST ELEVATION 26 WINDOWS
(W2)	TOTAL WEST ELEVATION 56 WINDOWS
(SC1)	TOTAL WEST ELEVATION 13 SCREENS
(SC2)	TOTAL WEST ELEVATION 26 SCREENS

LEGEND

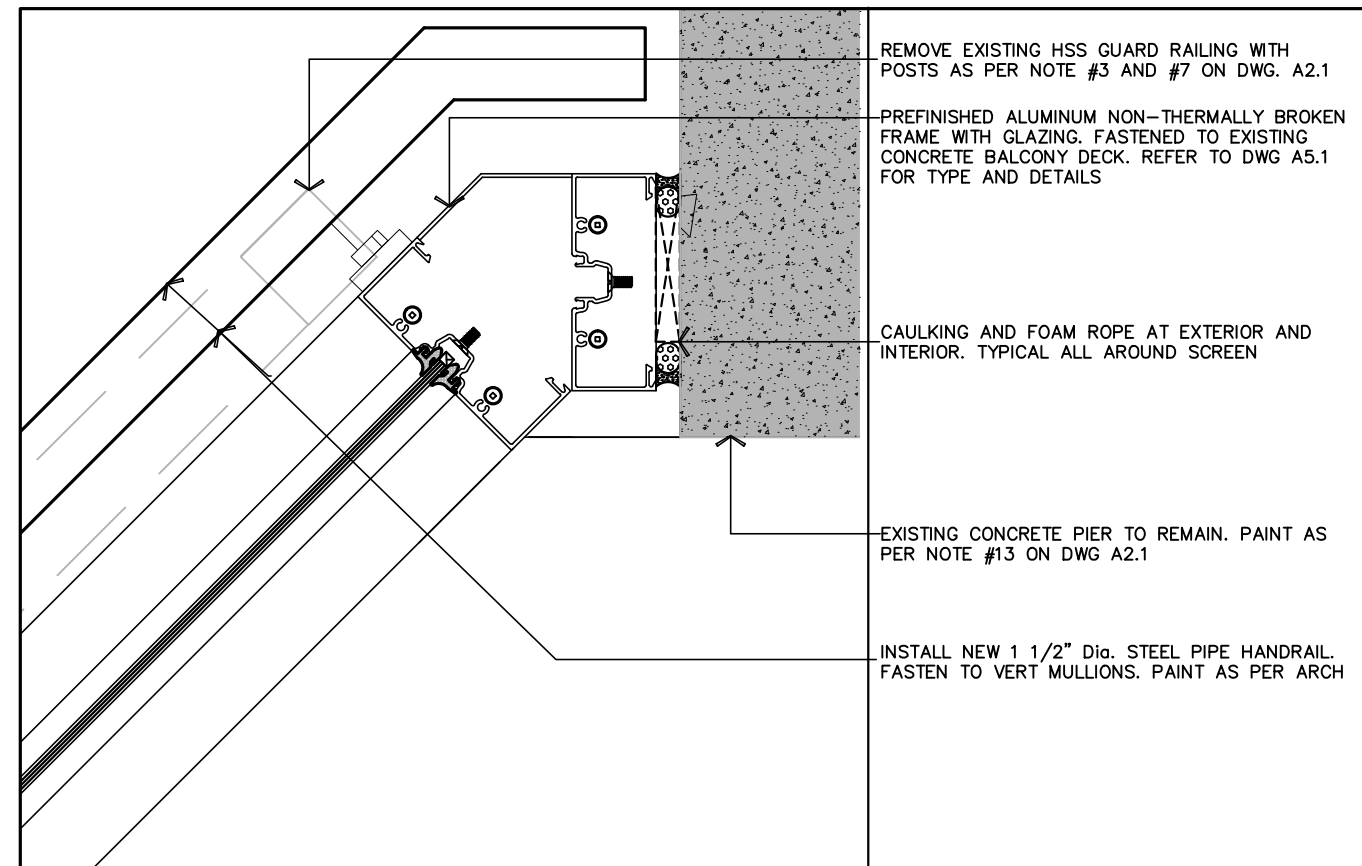
REF.	DESCRIPTION
(A)	BALCONY STYLE (SEE ENLARGED PLAN ON DWG A5.1)
(SC1)	BALCONY SCREEN TYPE
(W1)	WINDOW TYPE



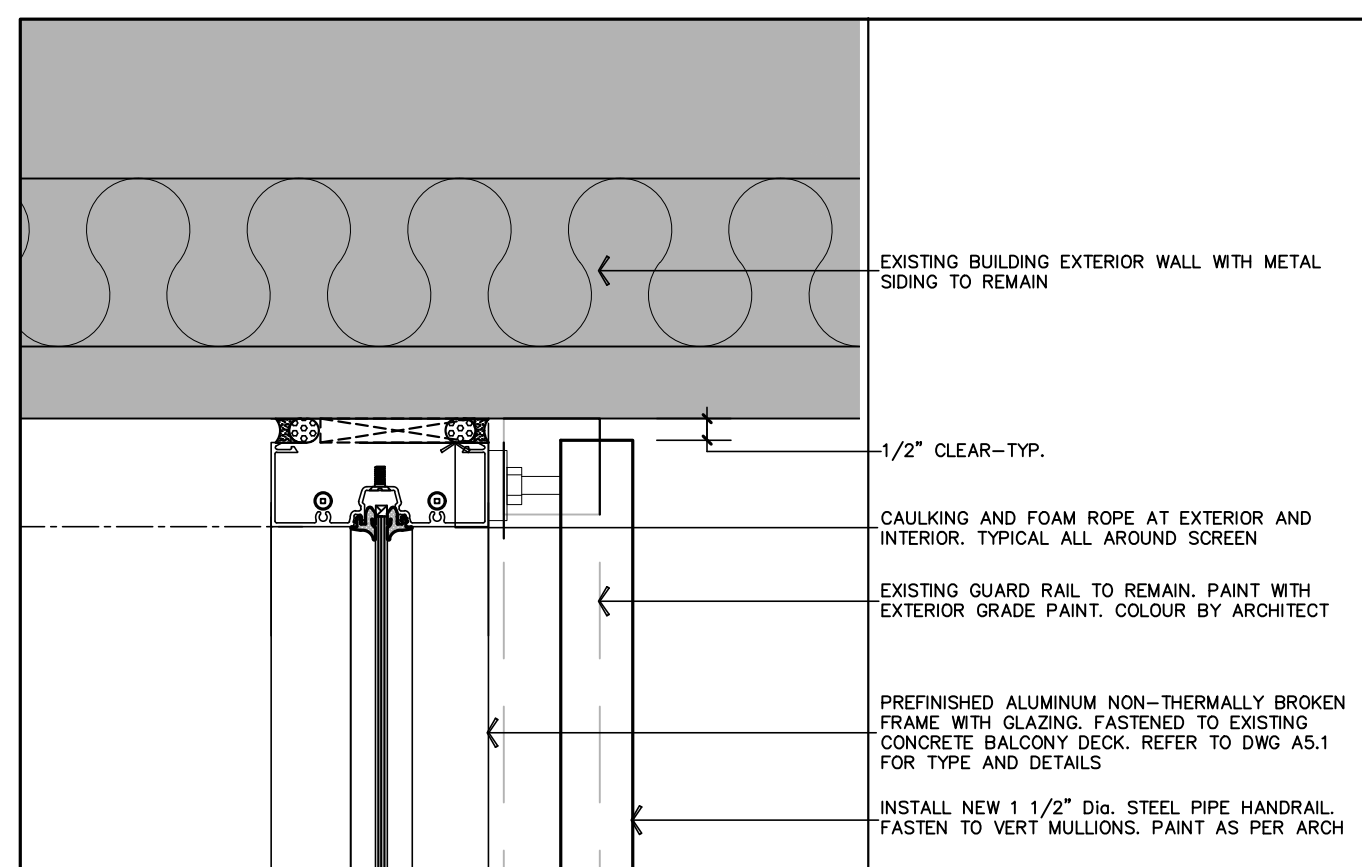
8 PLAN DETAIL – BALCONY SCREEN FRAME
SCALE: 3/4"=1'-0"



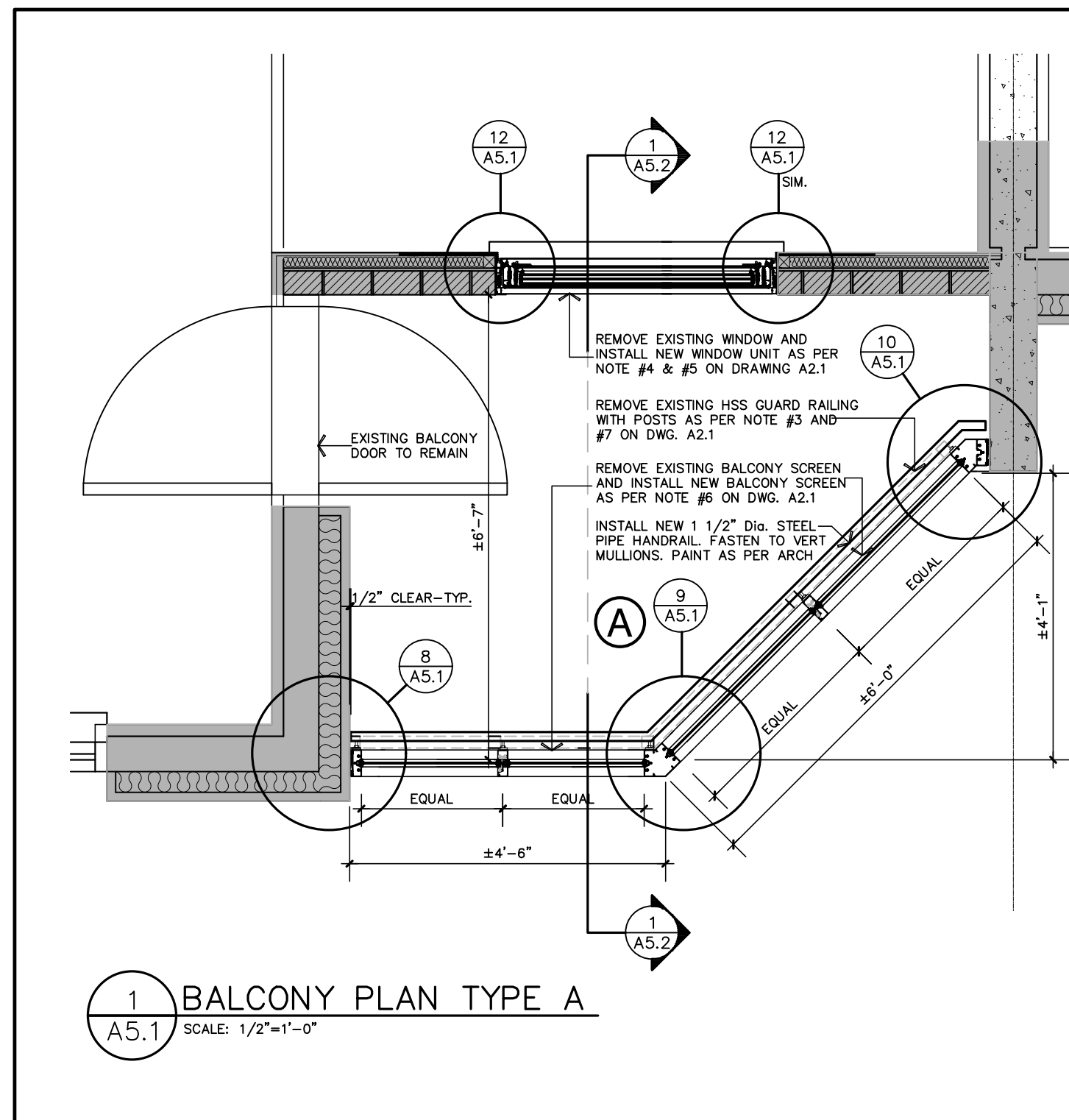
9 PLAN DETAIL – BALCONY SCREEN FRAME
SCALE: 3/4"=1'-0"



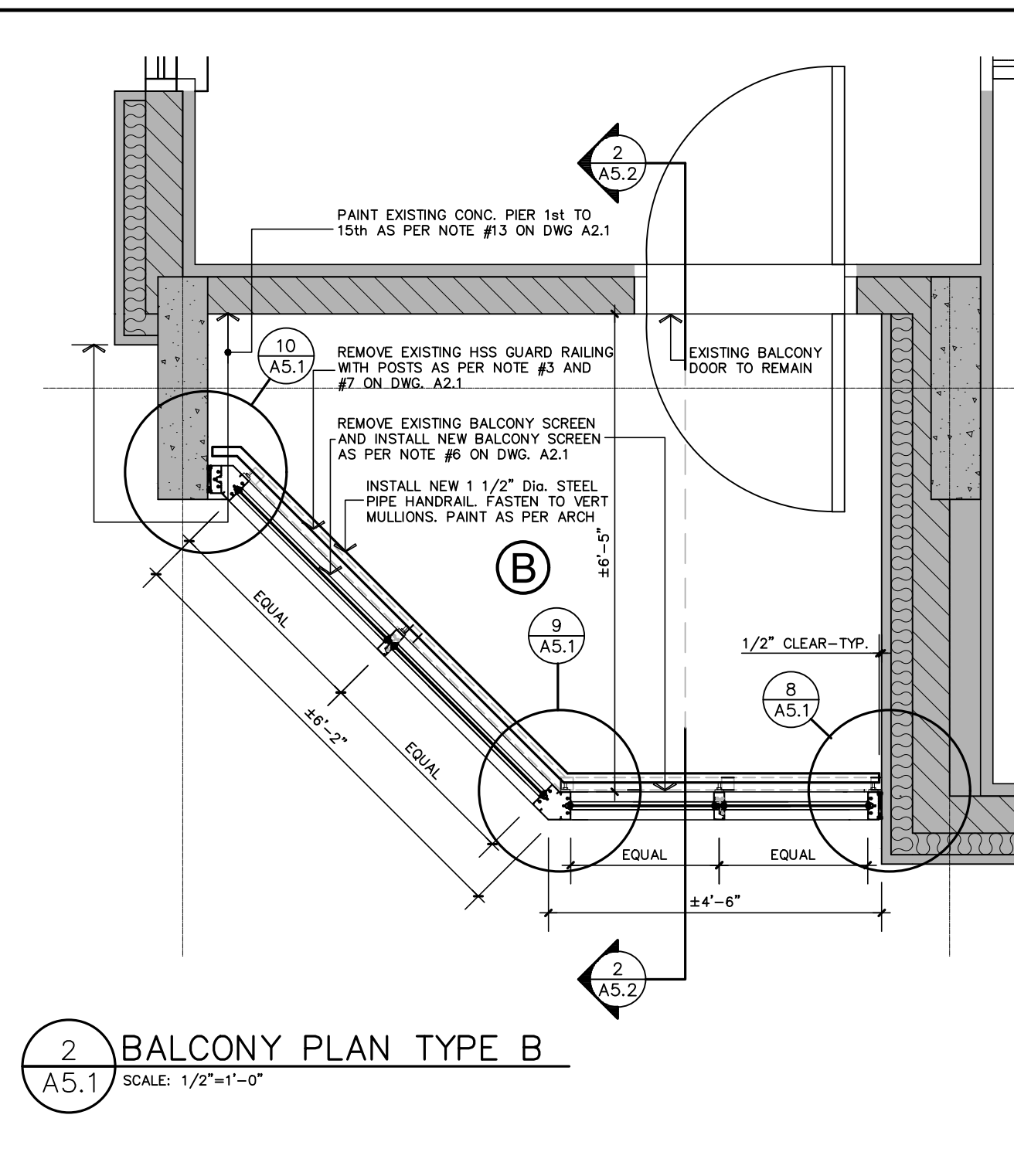
10 PLAN DETAIL – BALCONY SCREEN FRAME
SCALE: 3/4"=1'-0"



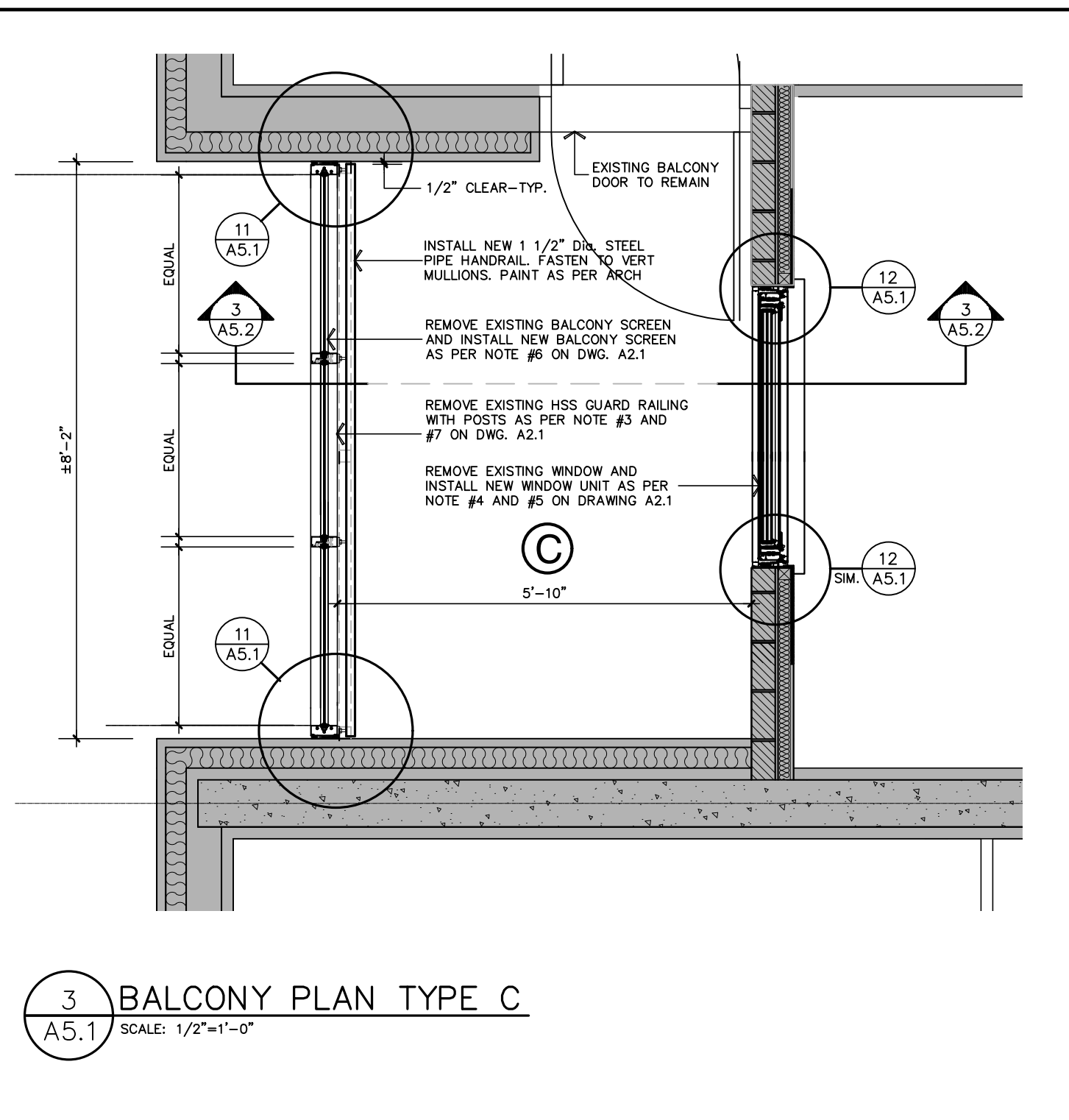
11 PLAN DETAIL – BALCONY SCREEN FRAME
SCALE: 3/4"=1'-0"



1 BALCONY PLAN TYPE A
SCALE: 1/2"=1'-0"



2 BALCONY PLAN TYPE B
SCALE: 1/2"=1'-0"



3 BALCONY PLAN TYPE C
SCALE: 1/2"=1'-0"

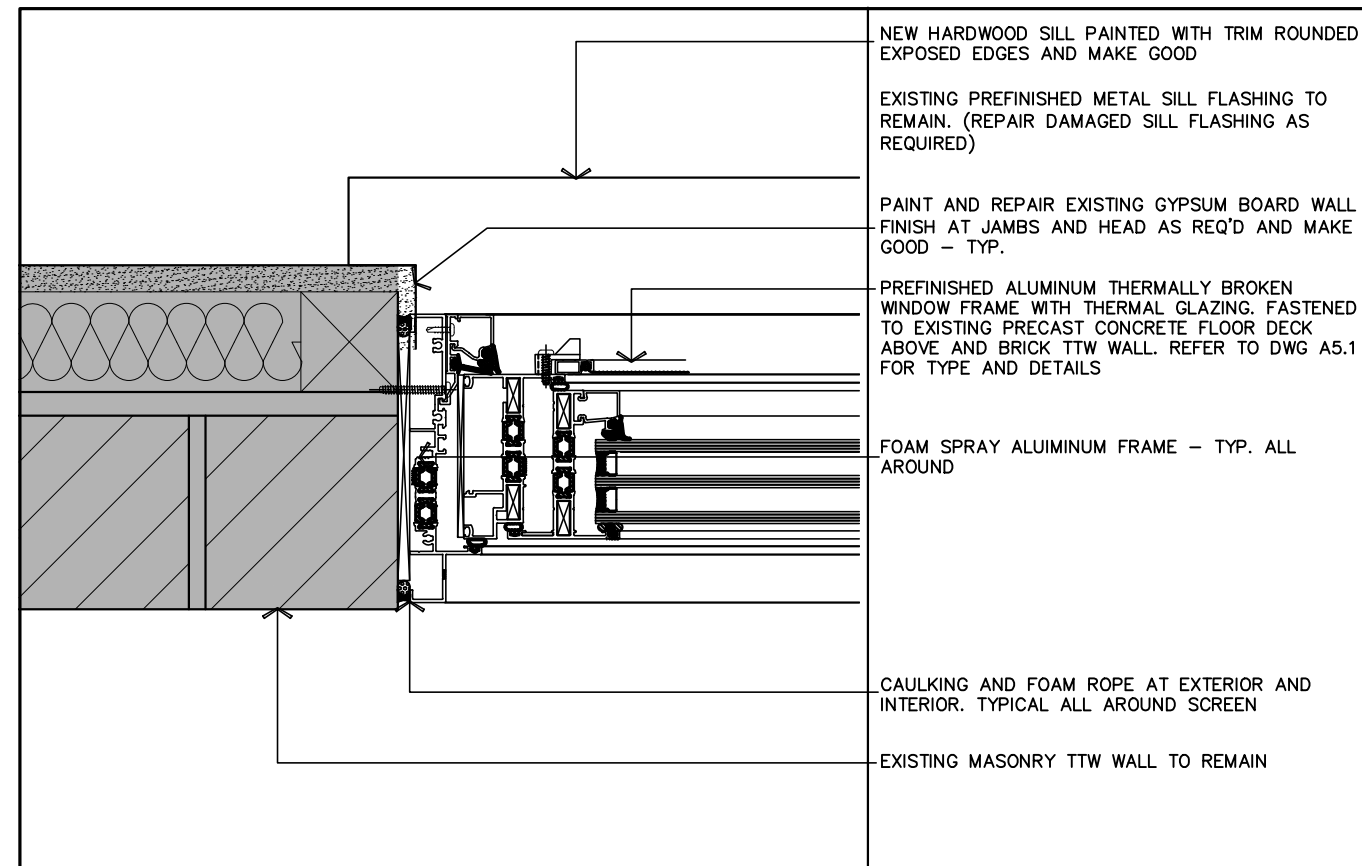
ENLARGED BALCONY PLANS

GENERAL NOTES

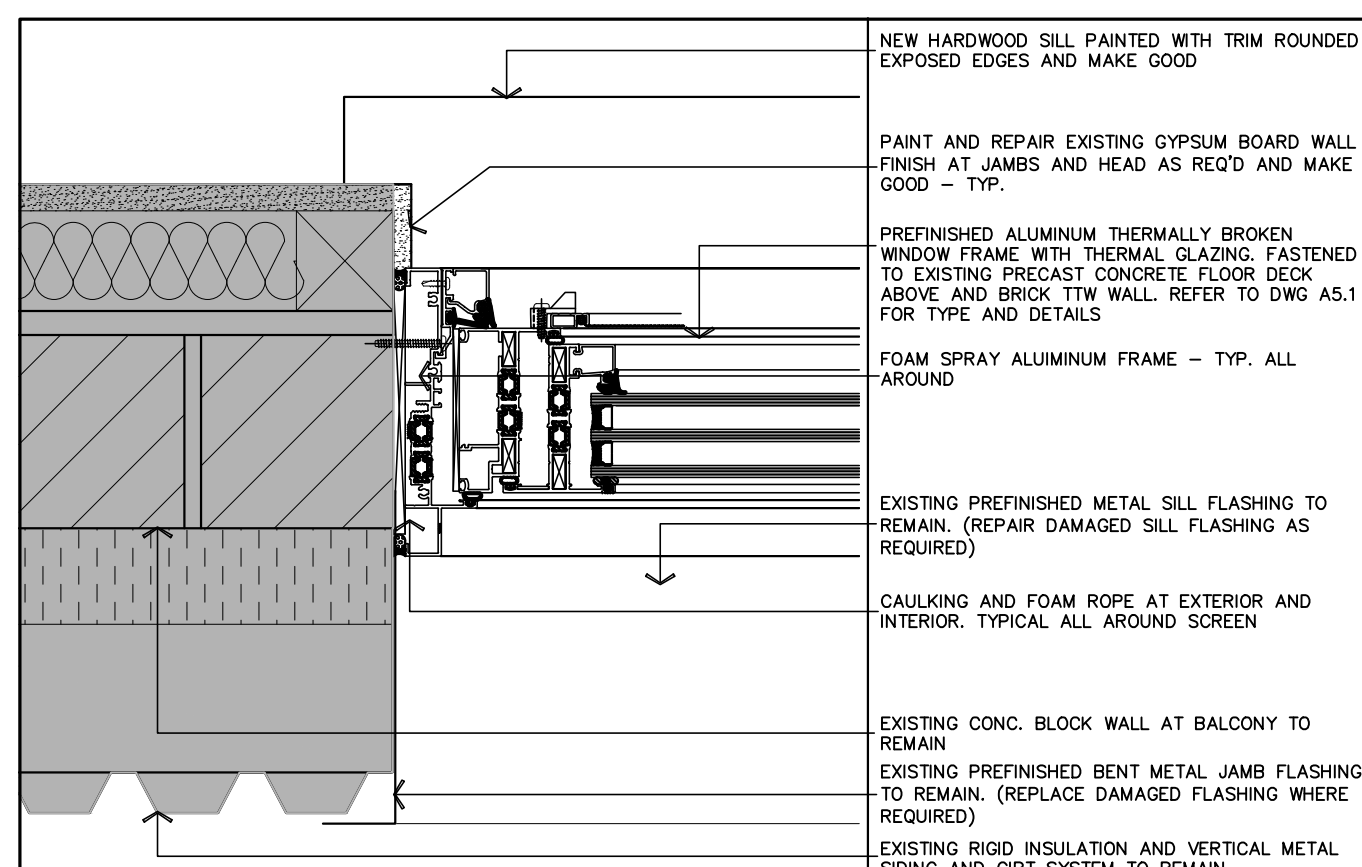
- CONTRACTOR SHALL FIELD MEASURE ALL WINDOWS PRIOR TO ORDERING
- REMOVE EXISTING WINDOWS TO STUD OPENING AND DISPOSE
- CONTRACTOR SHALL REMOVE ALL EXISTING WINDOW BLINDS/CURTAINS AND REINSTALL AFTER INSTALLATION OF WINDOW AND INTERIOR TRIM
- CONTRACTOR SHALL PAINT ALL INTERIOR GYPSUM BOARD JAMBS AND HEAD TO MATCH
- ALL WINDOW JAMBS AND HEAD SHALL HAVE 3/8" CLEARANCE EACH SIDE FROM ROUGH MASONRY OPENINGS REFER TO SPECIFICATION.
- INSTALL NEW WINDOW SILL AND TRIM AND PAINT TO MATCH

LEGEND

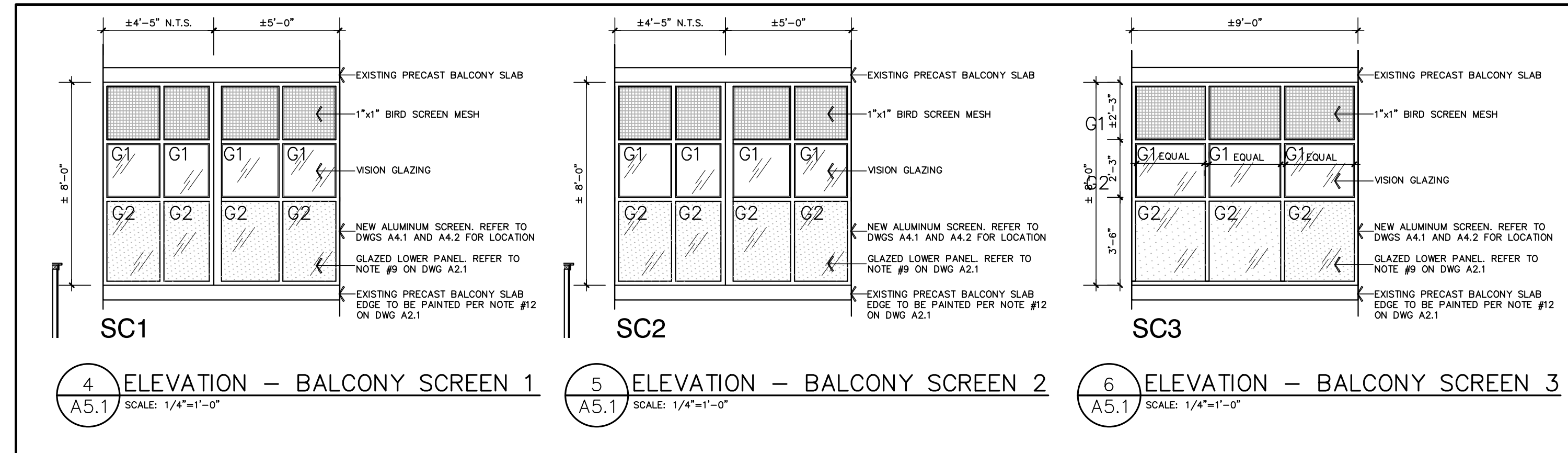
REF.	DESCRIPTION
(A)	BALCONY STYLE (SEE ENLARGED PLAN ON DWG. A5.1)
(SC)	BALCONY SCREEN TYPE
(W)	WINDOW TYPE



12 PLAN DETAIL – WINDOW JAMB – WINDOW 'W2'
SCALE: 3/4"=1'-0"

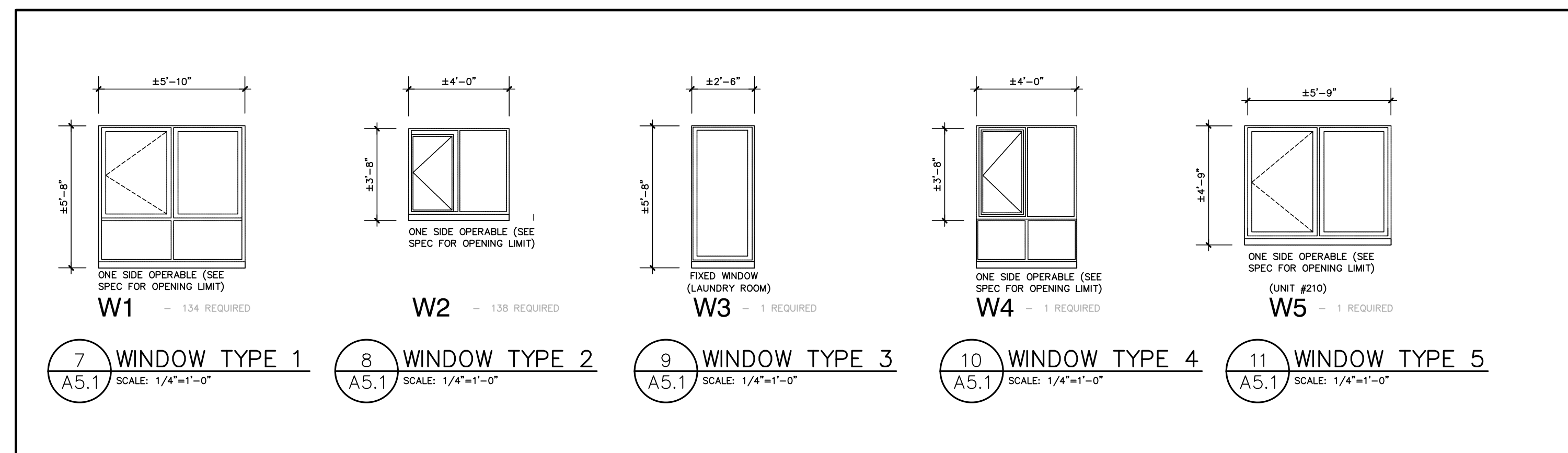


13 PLAN DETAIL – WINDOW JAMB – WINDOW 'W1'
SCALE: 3/4"=1'-0"



BALCONY SCREEN TYPES

NOTE: CONTRACTOR TO FIELD MEASURE ALL BALCONY SCREENS PRIOR TO ORDERING OR FABRICATION



WINDOW SCREEN TYPES

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REV.	DESCRIPTION:	DATE:
STATUS: ISSUED FOR TENDER		



PROJECT:
**SSM HOUSING AUTHORITY
14 STOREY APARTMENT BLDG
WINDOW AND BALCONY SCREEN
REPLACEMENT AND RENOVATION**

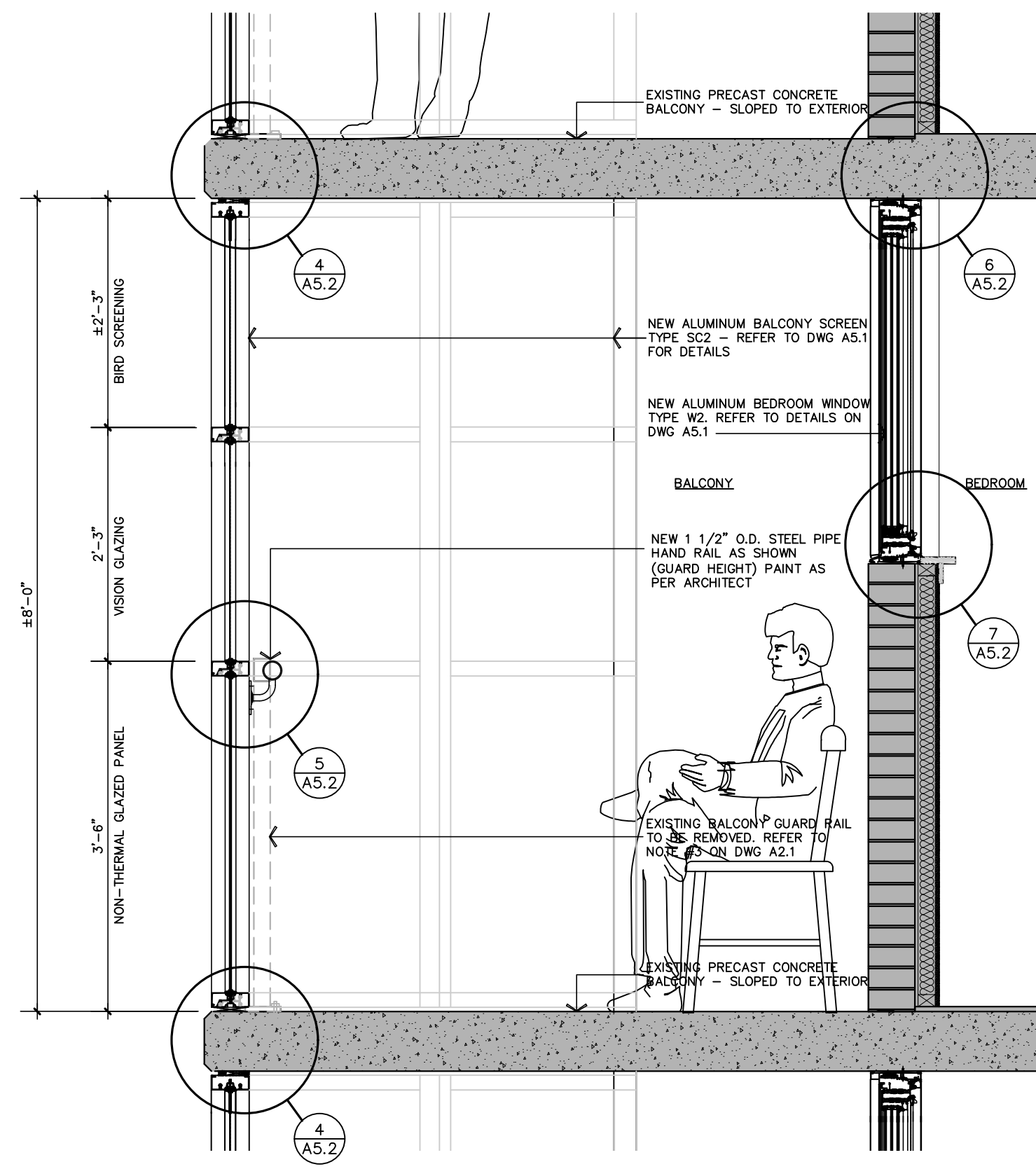
CLIENT:
SAULT STE MARIE HOUSING AUTHORITY

LOCATION:
615 BAY STREET
SAULT STE. MARIE, ON

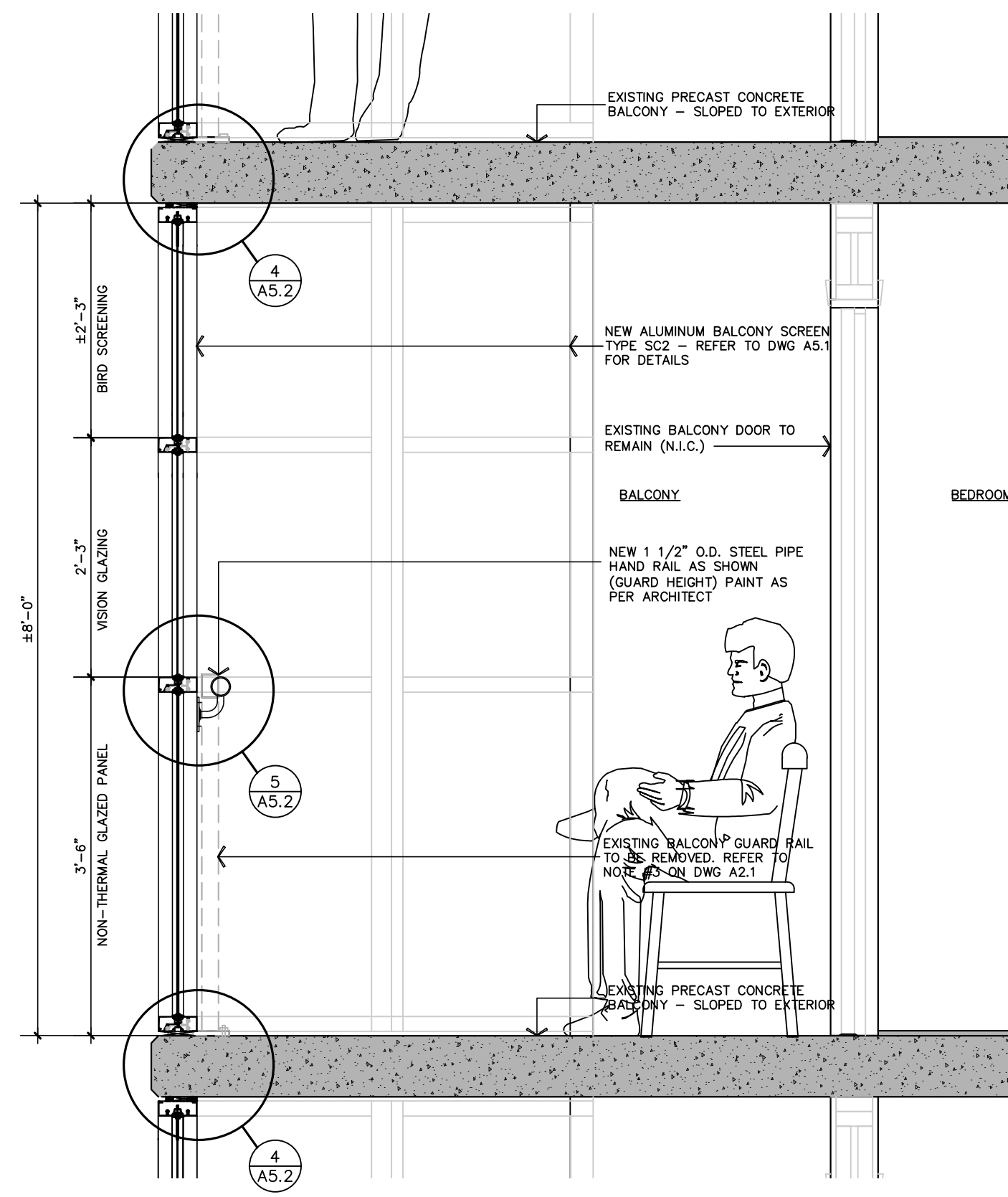
KEY PLAN:

DRAWING TITLE:
BALCONY SCREEN PLANS
WINDOW TYPES
PLAN DETAILS

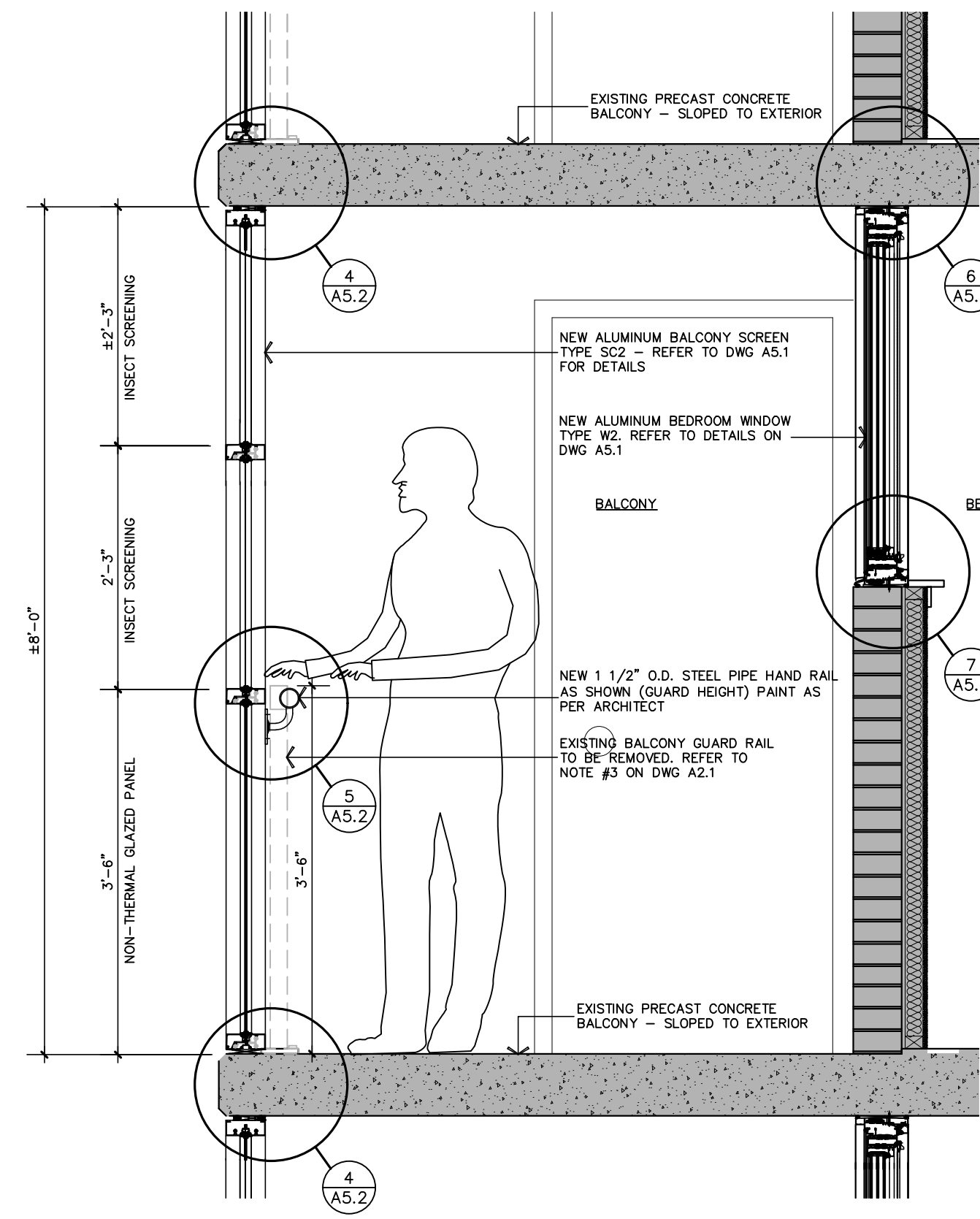
SCALE: AS NOTED	DATE: 04/16/24	DRAWN: MM
PROJECT NUMBER: 24001	DRAWING NUMBER: A5.1	
DWG FILE:		



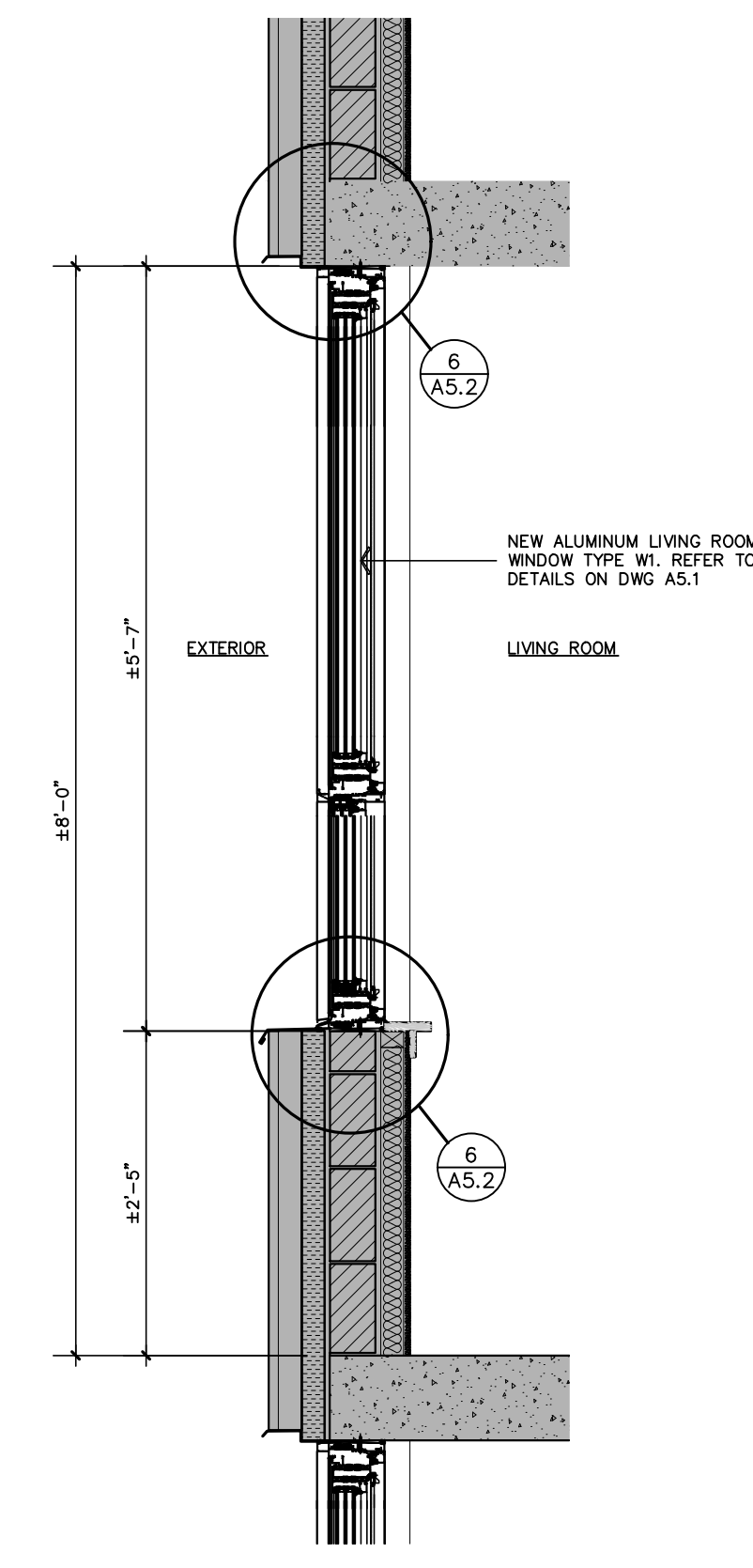
1 SECTION BALCONY - TYPE A
A5.2 SCALE: 3/4"=1'-0"



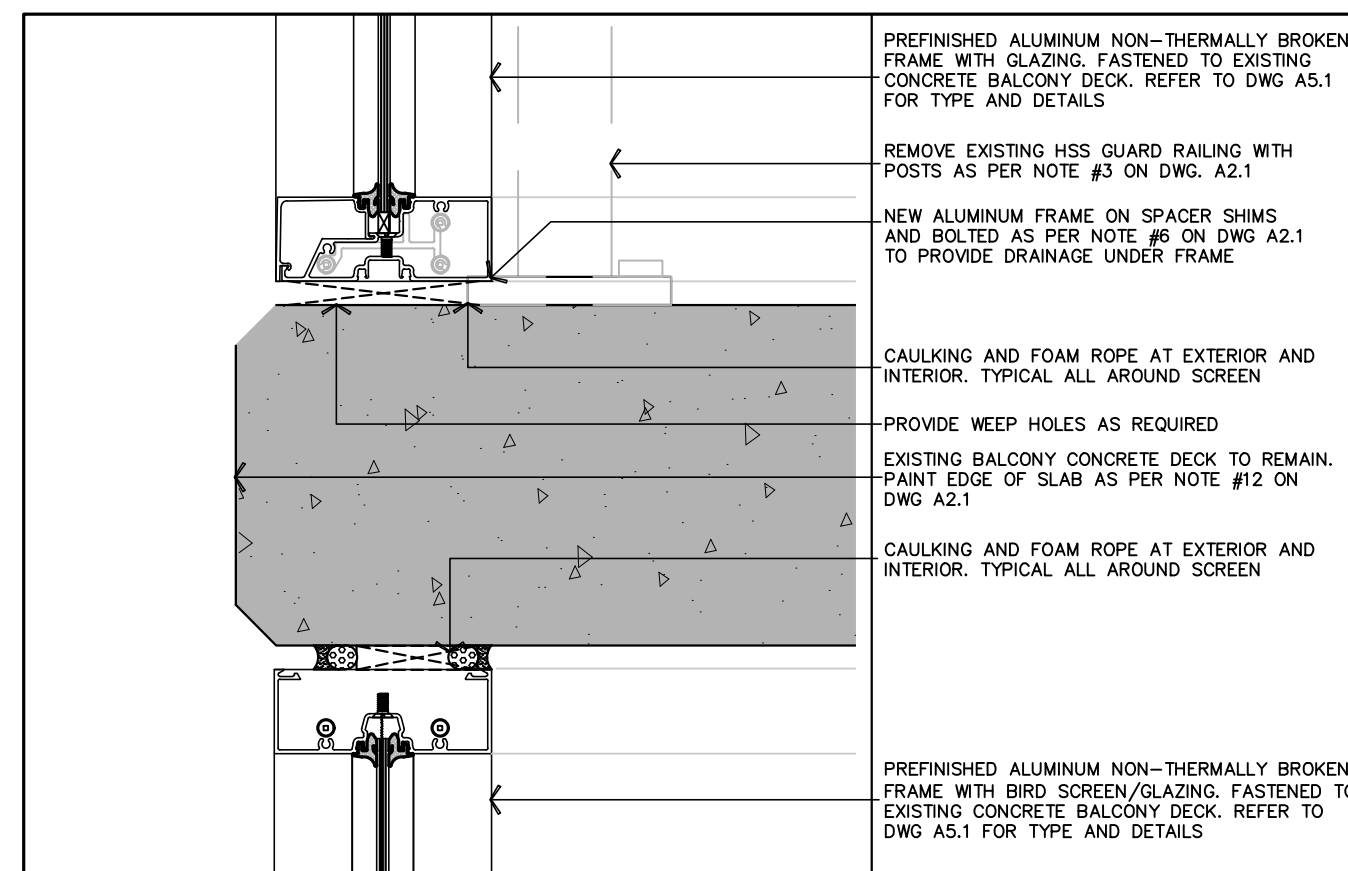
2 SECTION BALCONY - TYPE B
A5.2 SCALE: 3/4"=1'-0"



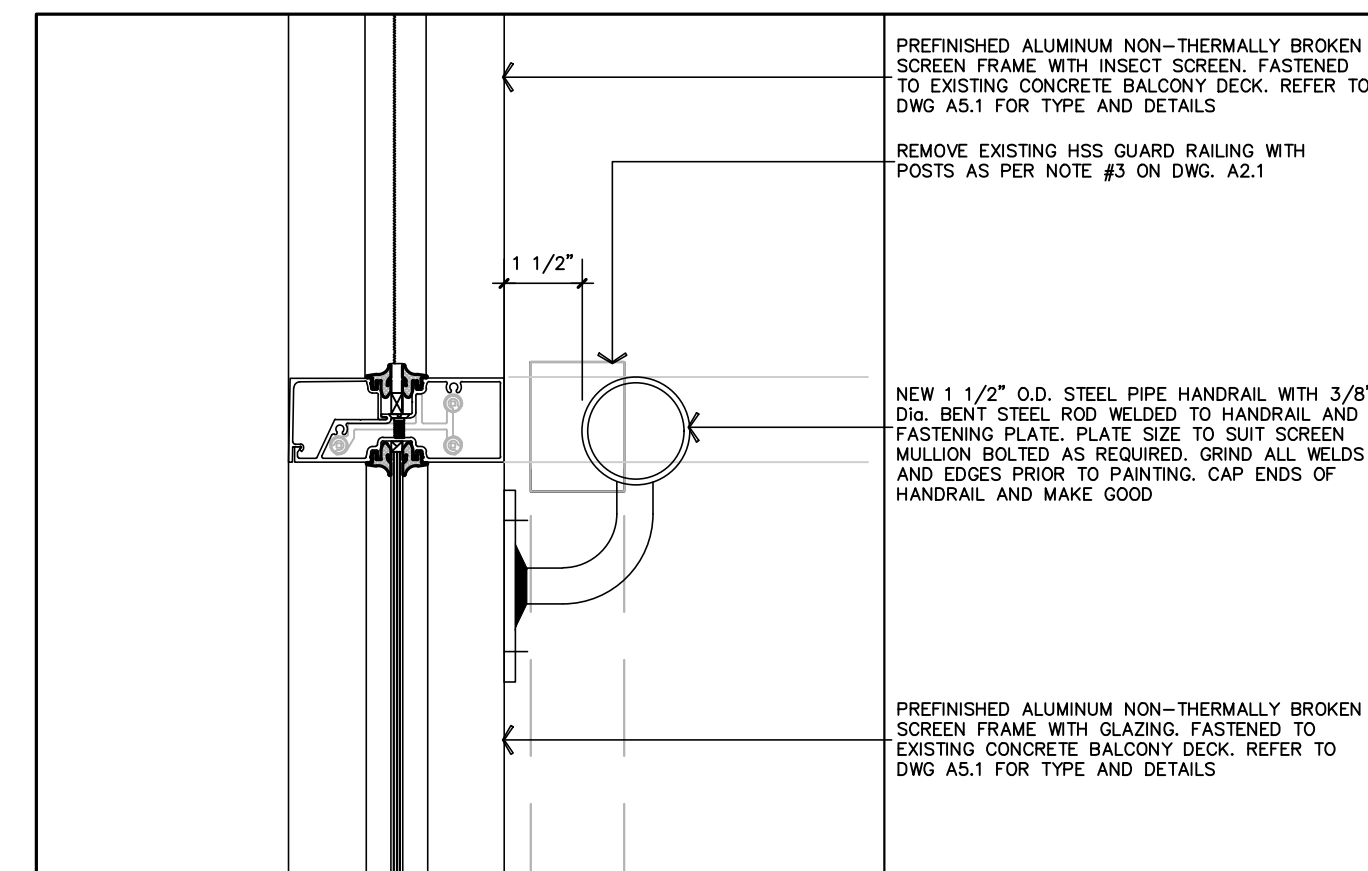
2 SECTION BALCONY - TYPE C
A5.2 SCALE: 3/4"=1'-0"



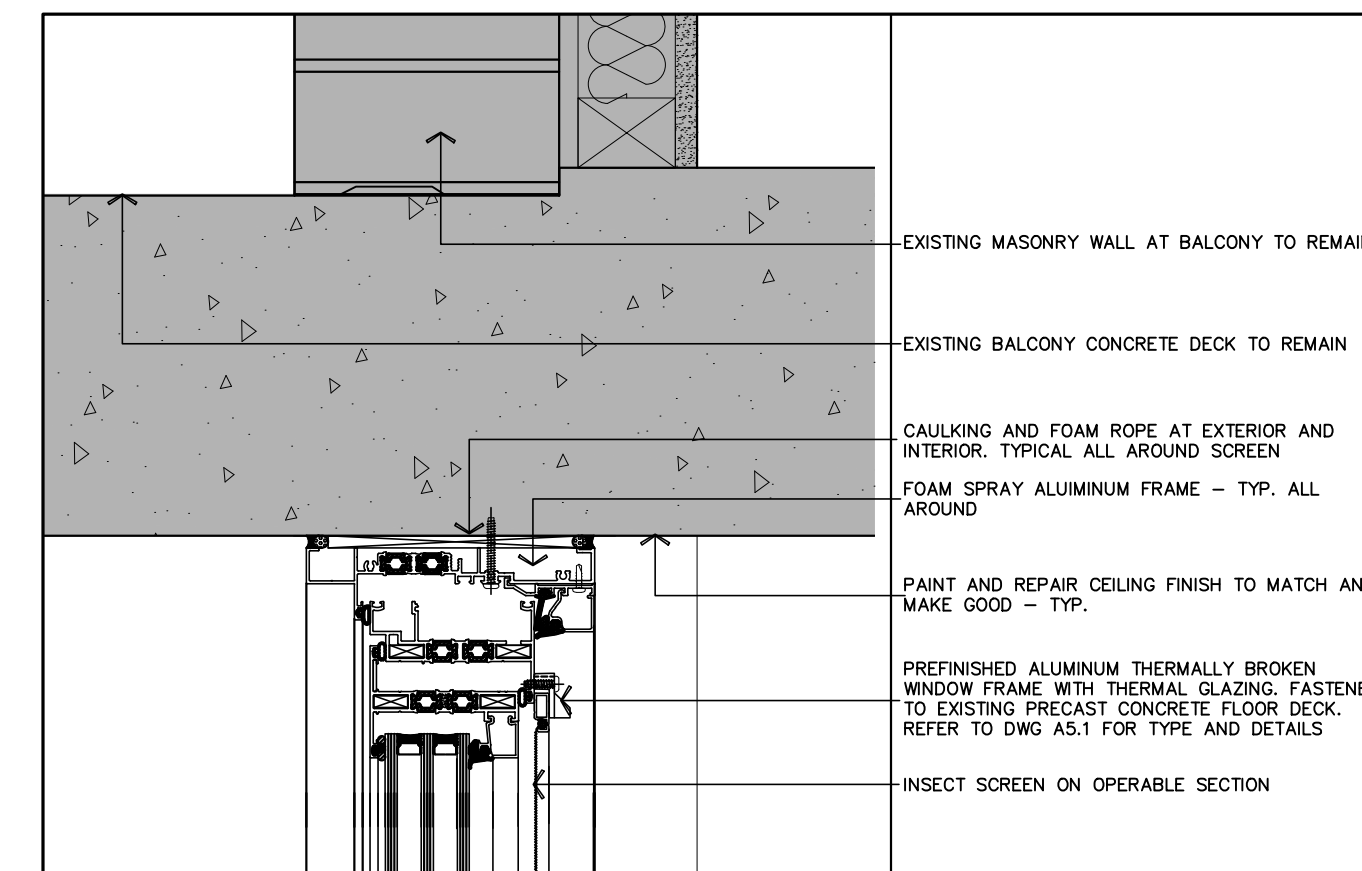
2 SECTION THROUGH LIVING ROOM WINDOW
A5.2 SCALE: 3/4"=1'-0"



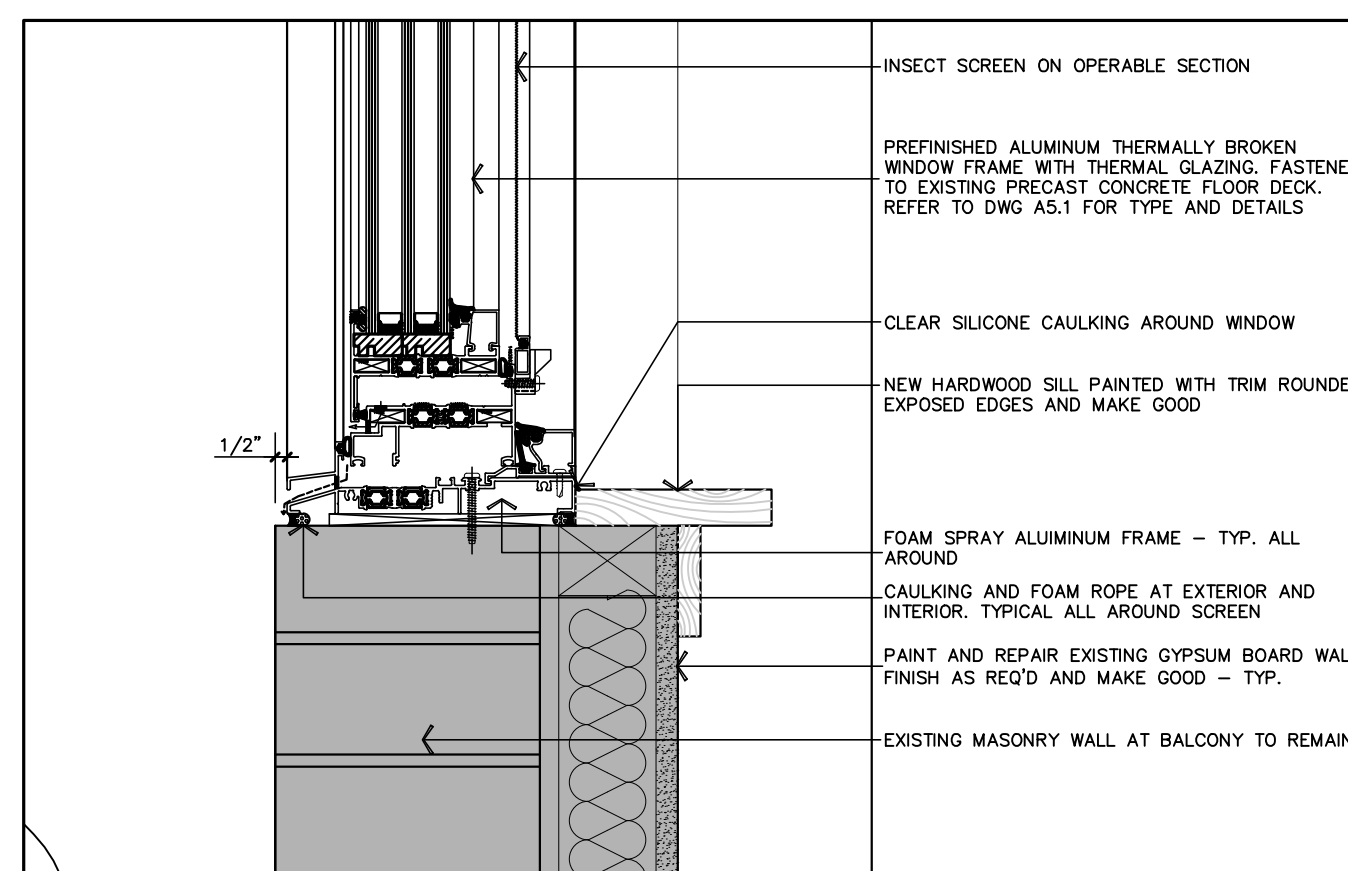
4 SECTION DETAIL - BALCONY FRAME TO DECK
A5.2 SCALE: 3"=1'-0"



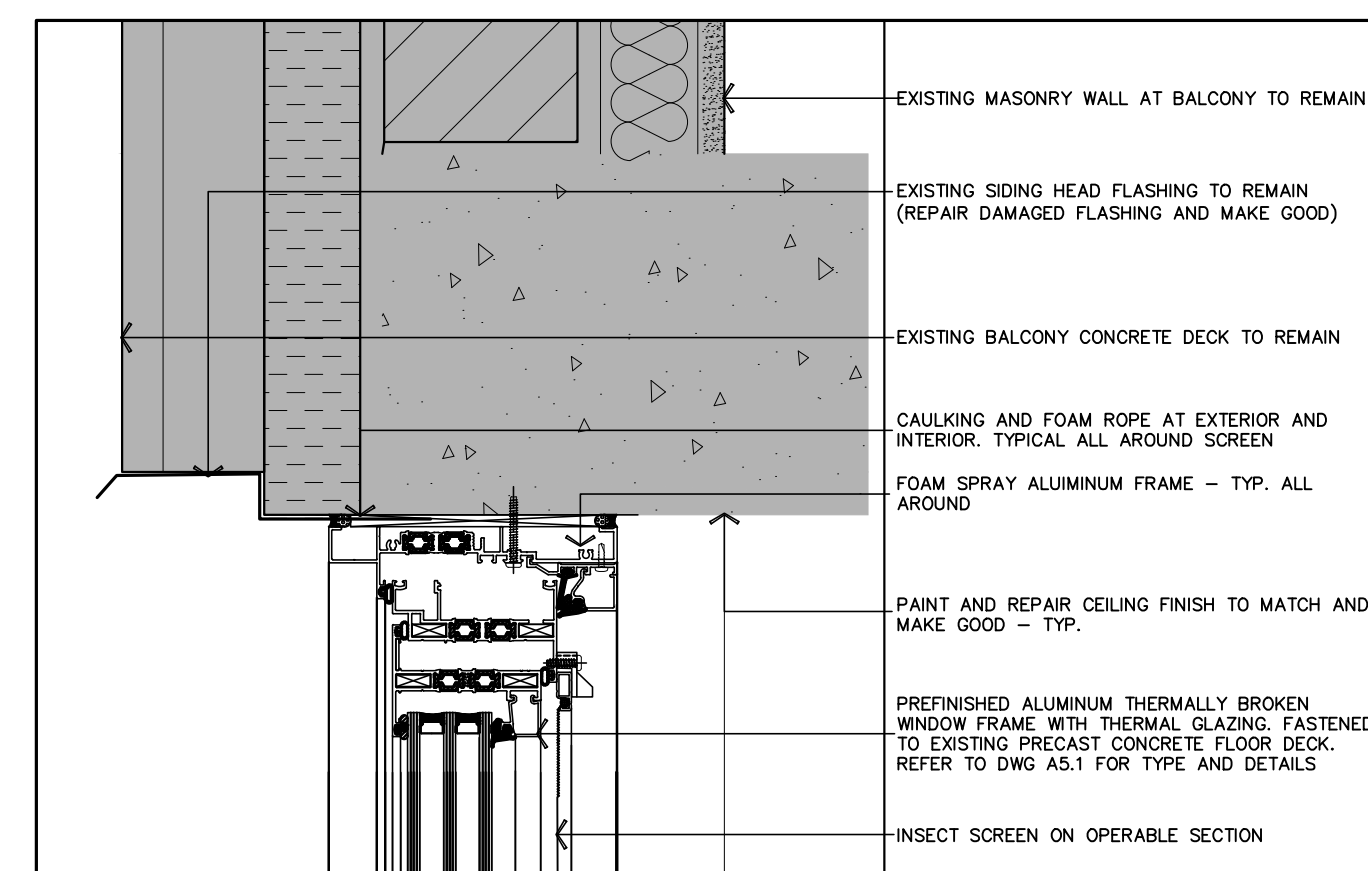
5 SECTION DETAIL - BALCONY FRAME TO DECK
A5.2 SCALE: 3"=1'-0"



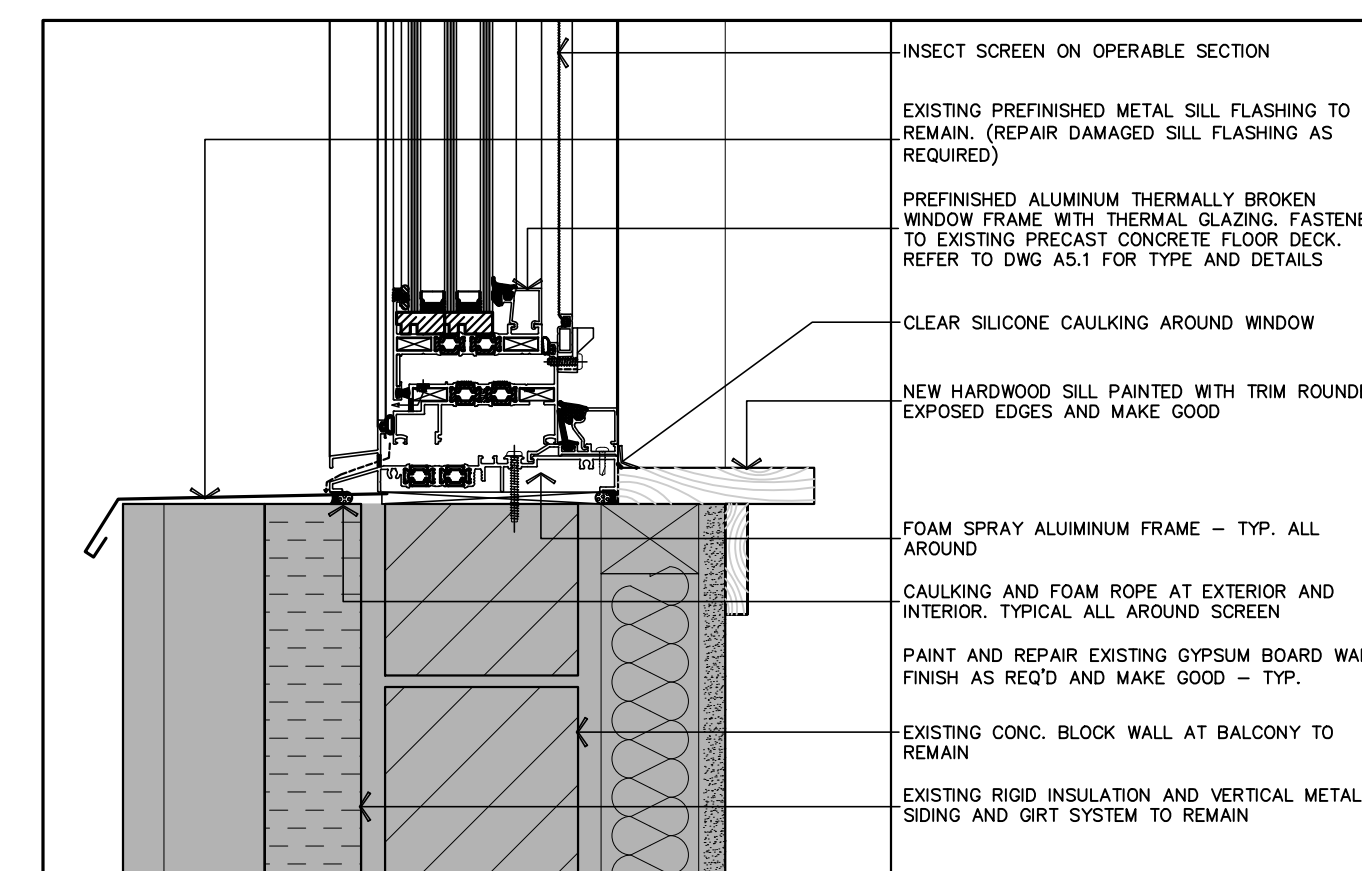
6 SECTION DETAIL - WINDOW 'W2' HEADER (BEDROOM)
A5.2 SCALE: 3"=1'-0"



7 SECTION DETAIL - WINDOW 'W2' SILL (BEDROOM)
A5.2 SCALE: 3"=1'-0"



8 SECTION DETAIL - WINDOW 'W1' HEADER (LIVING ROOM)
A5.2 SCALE: 3"=1'-0"



9 SECTION DETAIL - WINDOW 'W1' SILL LIVING ROOM
A5.2 SCALE: 3"=1'-0"

LEGEND	
REF.	DESCRIPTION
(A)	BALCONY STYLE (SEE ENLARGED PLAN ON DWG A5.1)
(SC2)	BALCONY SCREEN TYPE
(W1)	WINDOW TYPE

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**SSM HOUSING AUTHORITY
14 STOREY APARTMENT BLDG
WINDOW AND BALCONY SCREEN
REPLACEMENT AND RENOVATION**

PROJECT: SSM HOUSING AUTHORITY
CLIENT: SAULT STE MARIE HOUSING AUTHORITY
LOCATION: 615 BAY STREET
SAULT STE. MARIE, ON

KEY PLAN:

DRAWING TITLE:
BALCONY SCREEN SECTIONS
SECTION DETAILS

SCALE: AS NOTED	DATE: 04/16/24	DRAWN: MM
PROJECT NUMBER: 24001	DRAWING NUMBER: A5.2	
DWG FILE:		