

RFP 2024-01

REQUEST FOR PROPOSAL

PROFESSIONAL CONSULTING SERVICES

WINDOW AND BALCONY ENCLOSURE REPLACEMENT

615 BAY STREET

SAULT STE. MARIE, ONTARIO



January 5, 2024

SUBJECT: RFP 2024-01
PROFESSIONAL CONSULTING SERVICES
WINDOW AND BALCONY ENCLOSURE REPLACEMENT
615 BAY STREET
SAULT STE. MARIE, ONTARIO

The Sault Ste. Marie Housing Corporation – Housing Services (the Owner) invites Professional Consulting services to submit a proposal for the above-referenced project in accordance with the enclosed terms and conditions.

In order to be considered, all proposals must be received by the *Sault Ste. Marie Housing Corporation*, 180 Brock Street, Sault Ste. Marie, ON P6A 3B7, no later than **January 23, 2024** at **12:00 P.M.**

Please complete the proposal form completed, signed, and returned as part of the Proposal in a sealed envelope (marked “**PROPOSAL SUBMISSION**”) along with the attached Appendix ‘A’.

The lowest or any proposal will not necessarily be accepted.

Yours truly,

Jeff Barban,
Director of Housing Services

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1.0 Scope of Work

- .1 The Sault Ste. Marie Housing Corporation (SSMHC) is requesting for proposals for the provision of Professional Consulting Services for the design and preparation of drawings and specifications required to tender and complete a contract for the following construction work:
 - .1 Alterations to the existing building including:
 - .2 Removals: All existing apartment unit windows, balcony screens, panels, frames and materials deemed insufficient or incompatible with new replacements.
 - .3 Additions: New windows. (See Appendix "B" for sizes and quantities).
New mesh and possible panel/rail/frame replacement to balconies. (130) total balconies.
 - .4 Phasing: Project is to commence in the 2024 season and run concurrent into the following construction season.

2.0 Timelines

- .1 RFP Closing due: **Tuesday January 23rd, 2024 at 12:00 pm.**
- .2 Issue for Tender Construction Documents for owner review due: **February 22nd, 2024 by 4:30 p.m.**

3.0 Site Location

- .1 The site is located at 615 Bay Street, Sault Ste. Marie, ON.

4.0 Access to Site & Inquiries

- .1 Bidders may obtain access to the site and address all inquiries to:

Denis Rooney
Infrastructure & Asset Manager
Social Services – Housing Services
180 Brock Street, P.O. Box 277
Sault Ste. Marie, ON P6A 5L8
Cell: (705) 989-5305
d.rooney@socialservices-ssmd.ca

- .2 Clarifications and or revisions will be issued to bidders by Addendum prior to bid closing.

5.0 Role of Professional Consulting Firm

- .1 The successful Professional Consulting firm will act in the role of an Architect and will provide services as per Ontario Association of Architects Standard Short Form of Contract for Architect's Services.

6.0 Role of the Owner

- .1 The SSMHC will administer the contract and will not approve any additional costs unless a design change is requested where additional site visits would be warranted.

7.0 Proposal Submission

- .1 The Proponent shall:
 - .1 Complete and fully execute the Submission Form supplied and all appendices in all respects with appropriate documents and all requisite information.
 - .2 The Proposal and any amendments thereto may not be submitted orally or by telecommunications which include but are not limited to electronic email and telephone transmission of facsimiles.
 - .3 The fixed rate fee shall be based on the general design, expected project oversight including associated costs and must include all printing, copying, delivery, communication and travel costs. The fixed rate based fee shall be recorded in ink or typed except for signature of the bidder which shall be written with ink. Proposals that are incomplete or contain any omission, erasure, alteration, addition, condition, limitation or that show any irregularity may be rejected.
 - .4 The proposal shall be properly signed and the complete address of the bidder shall be given on the proposal. If the proponent is a co-partnership, each member shall sign the proposal; if a corporation, it shall execute the proposal by its duly authorized officers.
 - .5 The bidder shall include all schedules, and other information specified to enable the SSMHC to determine the proponent's compliance with the requirements of the Contract Documents. In the event work cannot be completed in accordance with the specified requirements, the proponent shall clearly and explicitly state what the deviations are.
 - .6 Upon request, a proponent shall verify any information including percentage contained in their proposal, and any proposal may be rejected if the SSMHC is not satisfied with the information furnished.

- .7 The submission of a proposal shall indicate the acceptance by the proponent of all instructions and conditions contained in the Contract Documents and the proposal shall be a firm offer binding the proponent.
- .8 Proposals shall not be withdrawn or modified and shall be open to acceptance by the SSMHC for a period of **thirty (30)** days following the date for the receipt of proposals. The fixed rate quoted therein shall be Firm which shall remain valid and binding on the proponent in the event the proposal is accepted by the SSMHC.
- .9 The SSMHC reserves the right to amend or supplement the Contract Documents at any time prior to the established closing date. Additional information, changes, clarifications or corrections made by the SSMHC or Professional Consulting firm on SSMHC's behalf to the Contract Documents during the time of bidding shall be issued in the form of addenda which will become part of the Contract and shall be covered in the proposal price. The proponent shall acknowledge receipt of these addenda in the space provided in the proposal forms.
- .10 The proponent is advised that the SSMHC will not reimburse the bidder for any costs incurred in preparation of a proposal

8.0 Phase of Work

.1 Schematic design

- .1 Review the characteristics of the existing site, building layout, existing deficiencies with the SSMHC including but not limited to: field measurement and verification of all dimensions of the subject site, including review of existing windows/enclosures for the proposed work.
- .2 Establish with the SSMHC the approach to the design of the project and the type of construction contract to be utilized.
- .3 Identify requirements within applicable statutes, regulations, codes and by-laws and where necessary review with Authorities having jurisdiction.
- .4 Based on a mutually agreed upon program of requirements, schedule and construction budget prepare for SSMHC's review and approval, schematic design documents that illustrate the scale and character of the project and how the parts of the project functionally relate to each other.

- .5 Prepare for the SSMHC's review and approval, architectural and structural design concepts.
- .6 Allow for all meetings with the SSMHC and required site visits to obtain and finalize the schematic design.
- .7 Submit a cost estimate (+/- 8%) for the project. Estimate format shall be by divisional breakdown.

.2 Design Development

- .1 Prepare for SSMHC's review and approval, design development documents to describe the size and character of the project including architectural, structural design, colour scheme, materials and other such elements as may be appropriate; and continue to identify requirements within applicable statutes, regulations, codes and by-laws as the project advances.

.3 Construction Documents

- .1 Prepare for SSMHC's review and approval, tender-ready construction documents consisting of architectural and structural drawings and specifications to describe in detail the requirements for construction.
- .2 Review and finalize requirements within applicable statutes, regulations and codes and by-laws that are applicable to the project and where necessary review with Authorities having jurisdiction in order that the SSMHC will be in a position to apply to the project: and establish with the SSMHC, the necessary submittal information, submission forms and conditions of the construction contract.
- .3 Submit one (1) set of printed documents including stamped drawings at 100% stage for review and approval. Upon approval, provide SSMHC with electronic copies of specifications and drawings. Specifications are to be *Microsoft Word* format (version 2016 or previous) and drawings are to be *AutoCAD* format (version 2020 or previous). **These electronic copies must be provided prior to final payment being approved.**
- .4 Specifications are to be formatted for 8 ½" x 11" format and drawings are to be for 24" x 36" format.

.4 Tendering And Contract Administration:

- .1 Assist the SSMHC to respond to Contractor inquiries during tender period. Tenders will be opened at the *Sault Ste. Marie Housing Corporation* office at 180 Brock Street.
- .2 Attend mandatory pre-site meeting for Contractors bidding the work.
- .3 The Professional Consulting firm shall be responsible during the bidding period for responding to all inquiries and for the preparation of required addenda. The Professional Consulting firm shall prepare the addenda and submit to SSMHC for approval and distribution.
- .4 Assist SSMHC to analyze, evaluate submissions and provide award recommendation.
- .5 The Professional Consulting firm shall verify completeness of the bids including reviews for compliance with the provisions of the Tender documents. The Professional Consulting firm shall maintain strict confidentiality regarding the bids and shall make its confidential recommendations directly to the SSMHC. The SSMHC shall award the construction contract and shall be solely responsible for all announcements and awards.

.5 Construction Phase

- .1 Be a representative of the SSMHC advise and consult with SSMHC representatives and forward SSMHC instructions to the Contractor.
- .2 Assist SSMHC in obtaining a building permit.
- .3 Request and review shop drawings for conformance with general design concept as provided for in the contract documents.
- .4 Issue supplemental instructions (Site Instructions, CCNs, and minutes of construction site meetings), prepare Contemplated Change Notices (CCN) and furnish the SSMHC with estimate of costs of change at time of issue of CCN to the Contractor. Professional Consulting firm shall provide appropriate documentation to support recommendation.
- .5 Review Contractor's response to contemplated change notices, and provide recommendation for approval.

- .6 Review Contractor's progress draw application for certificate of payment and provide recommendation for approval/payments.
- .7 Issue certificates for payment to Owner.
- .8 Act as the Architectural firm under CCDC 2 (2020).
- .9 Review procedures and oversee substantial completion.
- .10 Provide a bi-weekly general review to all construction: examine, evaluate and report to the SSMHC on representative samples of work; keep you informed of the progress and quality of work; report to the SSMHC any defects and deficiencies in the work including adherence to health and safety requirements by contractor ; prepare and issue corresponding site visit reports.

.4 Phase 4 - Close-out

- .1 Issue declaration of substantial completion under CCDC 2 terms and conditions.
- .2 Request as-built drawings, data books, warranties, operation and maintenance manuals, etc. from the Contractor and shall be reviewed by the Professional Consulting firm for accuracy prior to submitting to the SSMHC.
- .3 Prepare and submit a complete set of the electronic version of record drawings and specifications. **These electronic copies must be provided prior to final payment being approved.**
- .4 Conduct a final inspection on the works for substantial completion and prepare a deficiency report. Allow a minimum of one (1) final inspection and a minimum of one (1) deficiency follow-up inspection.
- .5 Attend, review and provide guidance to the general contractor for all of the commissioning activities.
- .6 Review any defects or deficiencies that are reported by the SSMHC during the warranty period and notify the Contractor of those items requiring attention.
- .7 Allow for a one-year warranty review with an accompanied written report.
- .8 Coordinate total completion of the contract and validate total completion performance.

9.0 Proposal Submission Requirements

- .1 Professional Consulting firms proposal must be received before **12:00 P.M.** on **Tuesday, January 23rd, 2024** at the following location:

Sault Ste. Marie Housing Corporation
HOUSING SERVICES
180 Brock Street, P.O. Box 277
Sault Ste. Marie, ON P6A 5L8
- .2 Your proposal must include the following information:
 - .1 **A fixed rate fee based on the design and all associated costs, all cost incurred due the responsibilities as consultant/architect with anticipated project schedule factored in, inclusive of all costs to complete the services described above.**
 - .2 A commitment to meet the referenced targeted milestone dates.
 - .3 All required site visits required for design and construction inspections will be part of the percentage based fee with no minimum number of visits required. Exception will be made if the SSMHC requests a design change where additional site visits would be required.
 - .4 Demonstrate previous experience in similar projects.
- .3 The SSMHC reserves the right to:
 - .1 Reject any and all proposals.
 - .2 Cancel this RFP either before or after submission deadline.
 - .3 Waive any minor irregularities in any proposal.
 - .4 Negotiate for the modifications of any proposal.
 - .5 The SSMHC reserves the right without liability, cost or penalty, in its sole discretion to disqualify any proposal before full evaluation if the proposal reveals incorrect information or the Architectural firm misrepresents any information provided in its proposal.

.4 Payment Terms

- .1 The Professional Consulting firm shall submit separate invoices to the SSMHC in accordance with this agreement.
- .2 The SSMHC will pay any approved invoice submitted by the Professional Consulting firm under this agreement within **thirty (30)** days after the invoice approval date.

.5 Alterations to Documents

- .1 No electronic reproduction or alteration of the original Proposal will be permitted under any circumstance. The Proponent shall not change the wording of the Proposal after submission. No words or comments shall be added to the general conditions or detailed specifications unless requested by the SSMHC for the purpose of clarification.

.6 Insurance Policy and Certificate

- .1 The successful Proponent will indemnify and save harmless the SSMHC of any action arising out of the course of this Agreement and will provide a Certificate of Insurance certifying Commercial General Liability and Property Damage Insurance up to and including **\$5,000,000.00**, prior to the commencement of the contract. The successful Proponent shall maintain such insurance as will protect the Proponent and the SSMHC from all claims for damage or loss, or personal and bodily injury, including death, and from all claims of property damage on an occurrence basis which may arise from their operation under this contract. The insurance shall be Comprehensive General Liability Insurance, including Product and Completed Operations Liability, Contractual Liability, SSMHCs and/or Contractors Protective Liability, Contingent Employers Liability, and shall contain a Cross Liability Clause protecting the SSMHC as if separately insured. The insurance shall have a limit of not less than **\$5,000,000.00** inclusive for any one occurrence.
- .2 The deductible amount or amount in any insurance policy required by the SSMHC pursuant to this contract shall be subject to the approval of the SSMHC. In the event that the SSMHC does not accept the deductible amount as proposed by the Contractor, the Contractor shall provide insurance coverage with a deductible amount acceptable to the SSMHC.

.7 Indemnity

- .1 The successful Proponent will indemnify and save harmless the SSMHC against and from all actions, causes of action, interest,

claims, demands, costs, damages, expenses or loss which the SSMHC may bear, suffer,

incur, become liable for or be put to by reason of any damage to property to injury or death to persons by reason of, arising out of or in consequence of breach, violation of non-performance by the successful Proponent of any provision of the Agreement, or by reason of or arising out of the work covered by this contract, or by reason of or arising out of any act, neglect or default by the successful Proponent or any of its agents or employees. The rights to indemnity contained in this paragraph shall survive any termination of this Agreement, anything in this Agreement to the contrary notwithstanding.

10.0 Bid Acceptance

- .1 **The lowest of any bid will not necessarily be accepted.** The SSMHC reserves the right without prejudice to reject any or all Proposals and to determine in its own best judgement the Proponent best qualified to undertake this Contract.
- .2 If the Consultant that is awarded the work cannot complete the work as specified, it is at the sole discretion of the SSMHC to issue remainder of work to the Consultant of its choice.
- .3 The SSMHC reserves the right to award the Contract in whole or in part.

PROPOSAL SUBMISSION FORM – PROFESSIONAL CONSULTING SERVICES
(QU 2024-01)

I/We the undersigned, hereby submit the attached Proposal to satisfy the requirements outlined and have reviewed and understand the scope of work and agree to the terms and conditions contained therein in submitting this Proposal.

I/We agree that this Proposal is made without any connection, knowledge, comparison of figures or arrangements with any other person or persons submitting a Proposal for the same purpose and is in all respects fair and without collusion or fraud.

It is further understood and agreed that the lowest or any Proposal will not necessarily be accepted and that the SSMHC reserves the right in its absolute discretion to reject any or all Proposals, or accept the Proposal deemed most acceptable.

The SSMHC further reserves the right to negotiate further with the successful Proponent to finalize the terms and conditions of the Proposal.

This "Proposal Submission Form" must be completed, signed, and returned as part of the Proposal in a sealed envelope (marked "**PROPOSAL SUBMISSION**") along with the attached Appendix to our office by **2:00 p.m. on Tuesday, January 23rd, 2024** to be considered.

Fixed Fee : _____

We commit to meet the referenced targeted milestone dates.

DATED THIS _____ **DAY OF** _____, 20 _____

NAME OF FIRM: _____

AUTHORIZED SIGNING OFFICER: _____

TITLE: _____

SIGNATURE: _____

WITNESS: _____

ADDRESS: _____

CITY: _____ **POSTAL CODE:** _____

TELEPHONE: _____ **FAX:** _____

EMAIL ADDRESS: _____

APPENDIX “A”

Proponents are required to complete Appendix “A” giving a brief description of their company and a list of recently completed projects of this nature complete with references from owners or businesses involved in the installations. Include a brief business prospectus with this submission.

Proposal Award will be made on the basis of verified acceptable references, completed projects, and proposal price, notwithstanding the SSMHC's right to reject any or all of the submitted proposal.

COMPANY NAME: _____

BRIEF DESCRIPTION: _____

<u>PROJECT:</u> (Include Location & Date Completed)	<u>REFERENCES:</u> <u>SSMHC:</u> (Include Name & Address)
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Evaluation Scoring

Score	Description
9-Excellent	<i>Exceeds requirements in areas beneficial to owner – ie. Time/Cost savings</i>
8-Very Good	<i>Exceeds requirements but not particularly beneficial to owner</i>
7-Good	<i>Fully meets criterion requirements</i>
6-Above Average	<i>Fully meets requirements of criterion. May lack in non critical areas</i>
5-Average	<i>Meets requirements but to a minimum standard</i>
4-Below Average	<i>Addresses most but not all criterion</i>
3-Poor	<i>Barely meets most criterion. Lacking in some critical areas</i>
2-Very Poor	<i>Lacking in most critical areas</i>
1-Completely Deficient	<i>Does not satisfy any requirements and/or significant errors present</i>

Evaluation Weighting

Item	Criterion	Value
9.1	Approach to Project	15
9.2	Experience Record	10
9.3	Project Team	10
9.4	Fixed Fee	50
9.5	Hourly Rates-Added fees not included in fixed fees- /hr	15
TOTAL		100%

To assist you in the evaluation and scoring of the Proponents we have summarized the definition of each criterion. We have included examples of ‘best’ response to aid in achieving the highest possible score (9).

9.1	Approach to Project	15
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Through discussion, the proponent should demonstrate knowledge of method, materials, processes and techniques used in this build application. Demonstration of time/cost savings to any or all of these applications would achieve a high score within this criterion.

9.2	Experience Record	10
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Provide up to (5) projects delivered similar in scope. Proponents are to provide a matrix detailing team member’s experience and involvement on similar projects. High scores in this criterion would reflect a team with significant and detailed experience clearly related to the scope of work on this project. References would be a distinct asset.

9.3	Project Team	10
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Each Proponent will prepare an outline of the staff and design team. An organization chart with team members' name and position identified should be included. Scores will dependent upon the experience and qualifications outlined as well as the time dedicated by each staff member to this project.

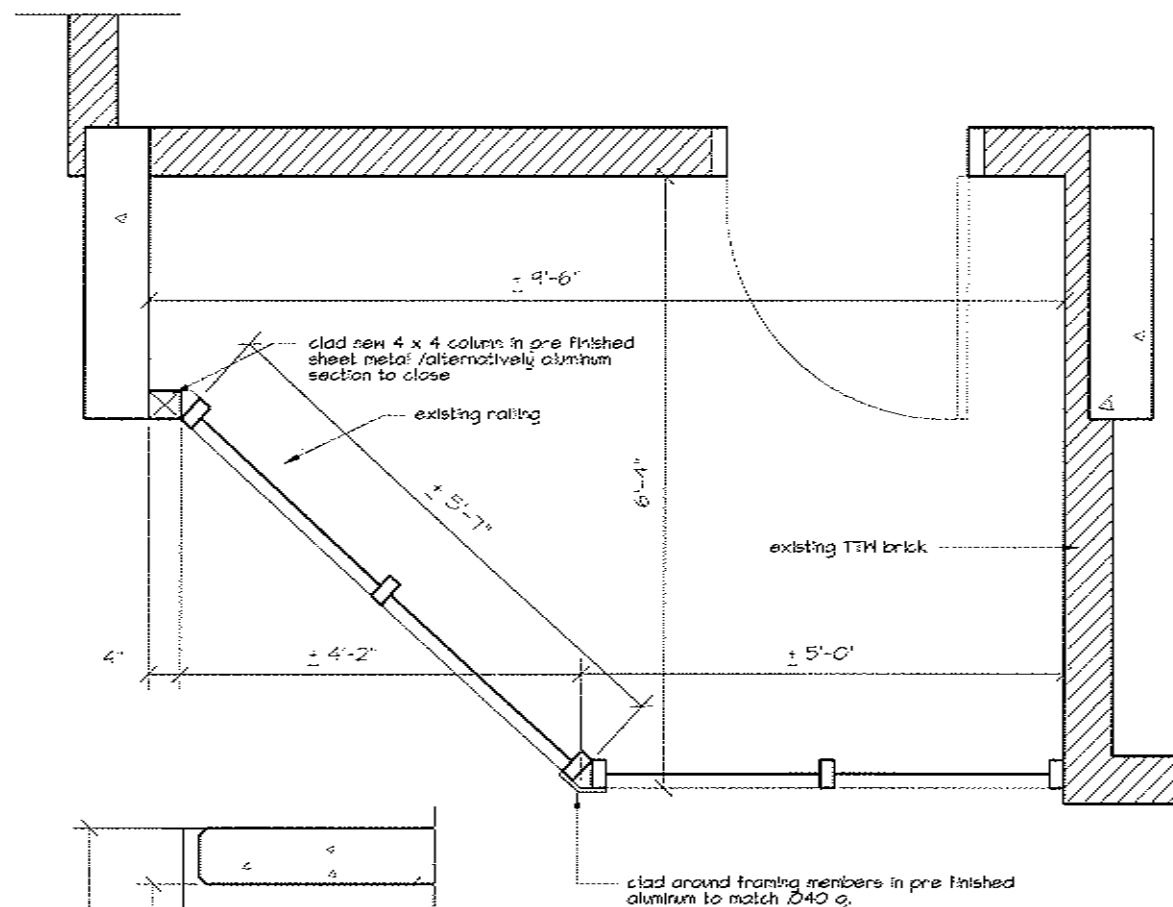
9.4	Fixed Fee	50
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Each Proponent shall provide a fixed fee proposal. The fixed fee shall detail all costs covered in this fee. This should be detailed to hours covered for site visits, weekly meetings and incidentals covered in the set fee including drawings, design and any other incidental.

High score will be contingent not only on low bid but also the details of services, hours covered and allotted for within the fee provided.

9.5	Hourly Rates-Added fees not included in fixed fees- /hr	15
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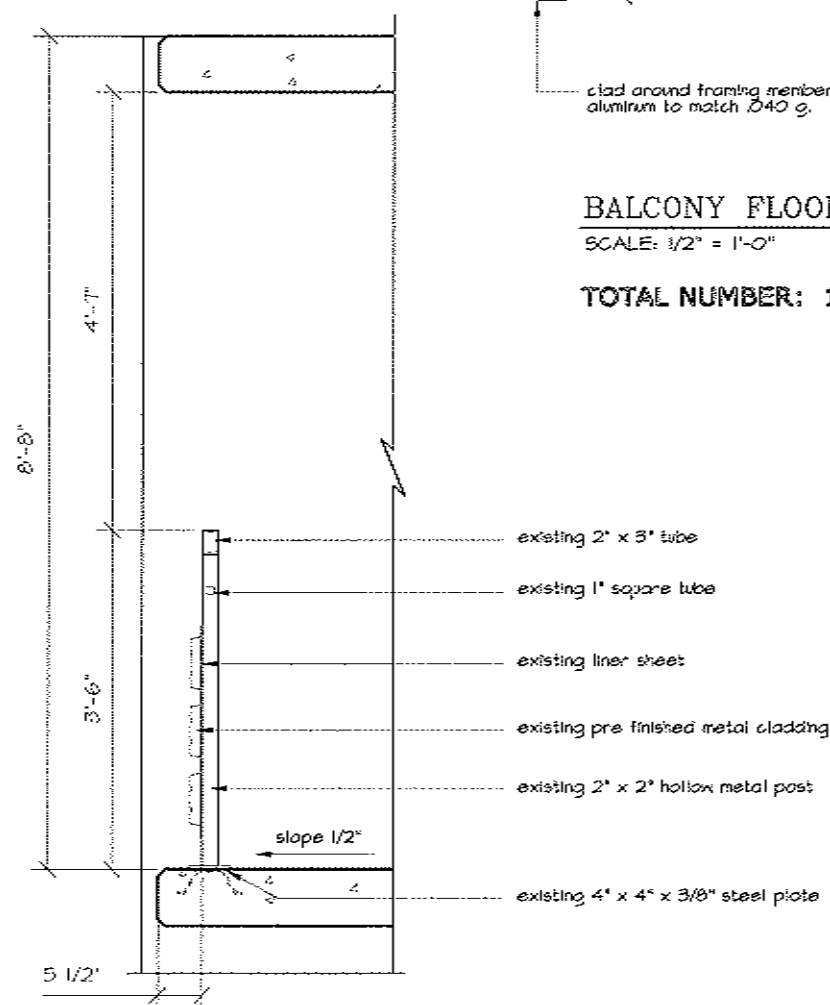
Each proponent shall provide an hourly or flat fee for services above and beyond those included in the original bid. High scores will be awarded to not only lowest rates but also the details in which extra fees would apply. Provide a detailed matrix outlining these fees within your bid.



BALCONY FLOOR PLAN - TYPE A

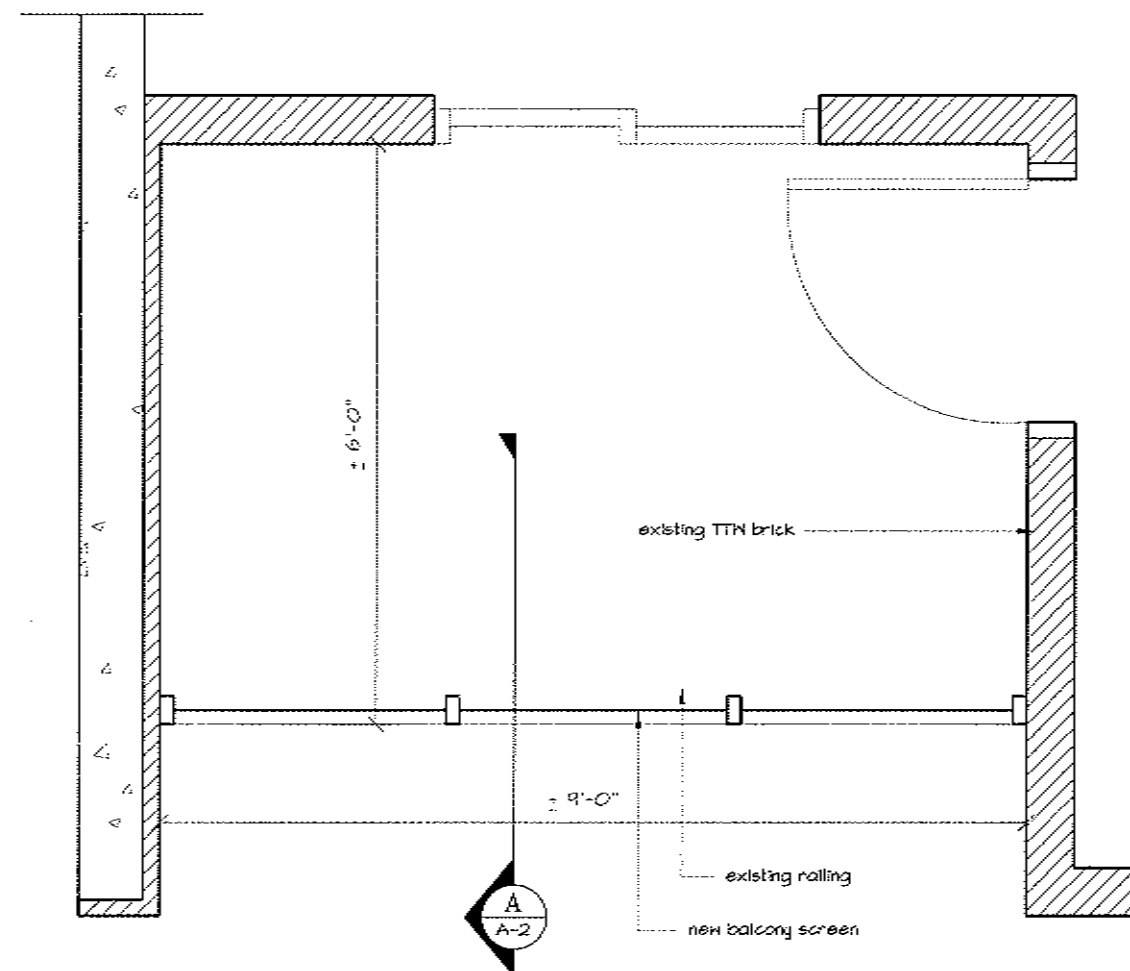
SCALE: 1/2" = 1'-0"

TOTAL NUMBER: 104



EXISTING SECTION @ BALCONY TYPE B

SCALE: 1/2" = 1'-0"



BALCONY FLOOR PLAN - TYPE B

SCALE: 1/2" = 1'-0"

TOTAL NUMBER: 26

CTA

CHRISTOSSELL ARCHITECT

563 Queen St. E. Suite 301, Sault Ste. Marie, Ontario

ONTARIO ASSOCIATION
OF
ARCHITECTS

CHRISTOPHER TOSSELL
LICENCE

Chris Tossell

PROJECT

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
REPAIRS

at
615 Bay Street
Sault Ste. Marie, On.

for
Algoma District Housing
Authority

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THE CONTRACTOR IS TO CHECK
ALL DIMENSIONS ON SITE

DATE	REV NO	REVISION	BY	APPD	

DRAWING TITLE

BALCONY FLOOR
PLANS AND SECTION

SCALE

1/2" = 1'-0"

DRAWN
S. FICOCIELLO

PROJECT NO
99-59

DATE

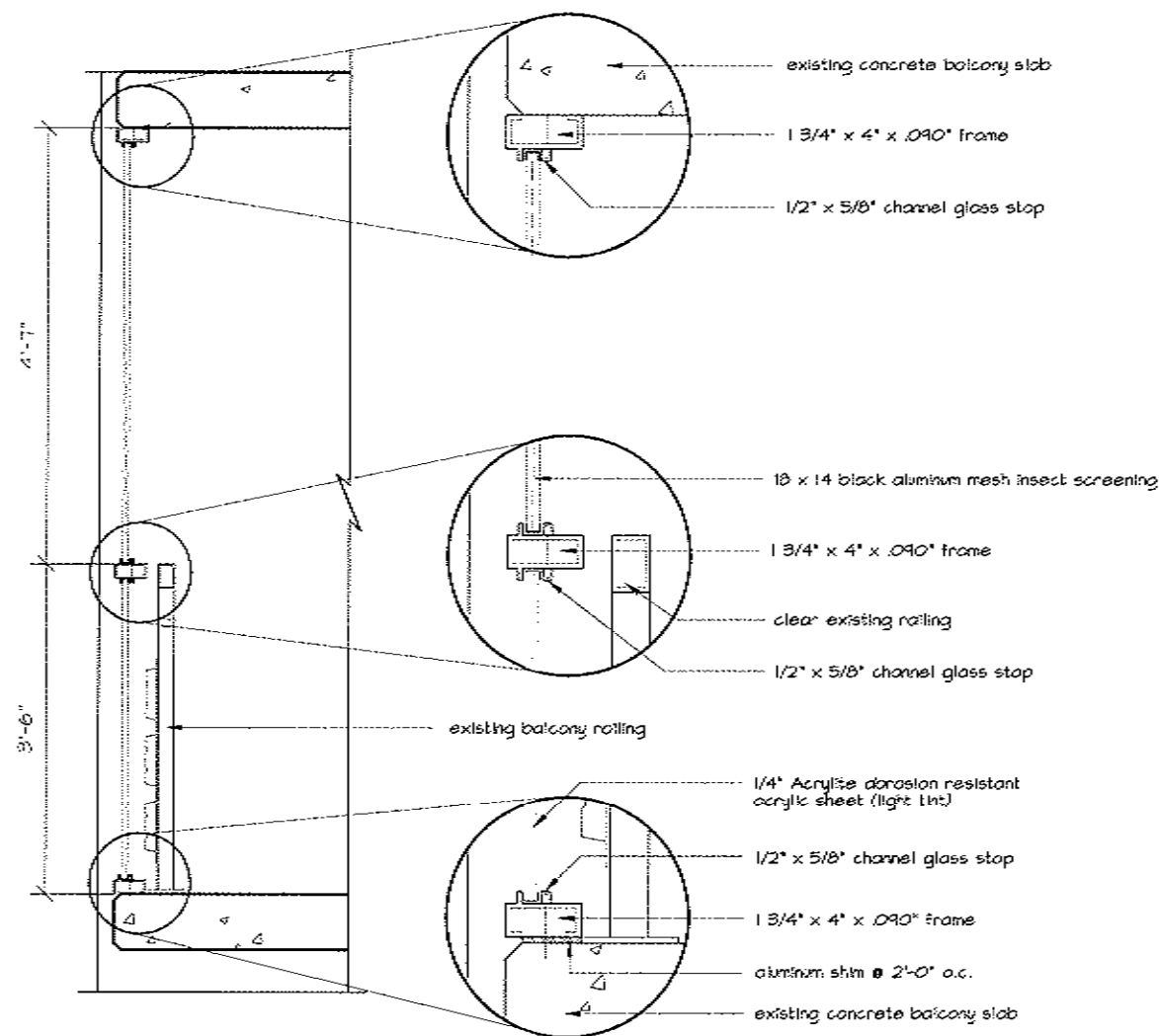
FEB / 2000

CHECKED

Chris Tossell

DRAWING NUMBER

A-1



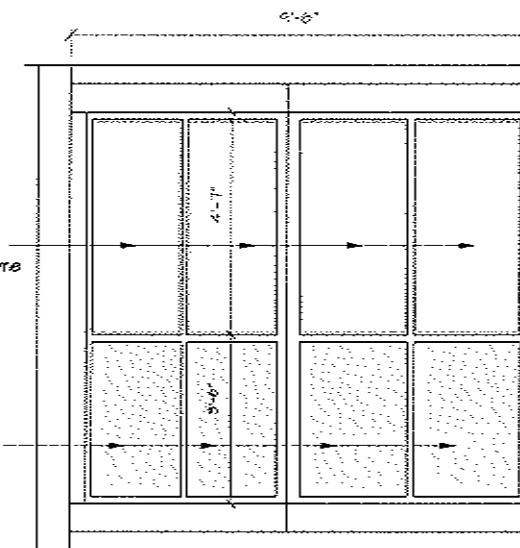
SECTION @ BALCONY TYPE B
SCALE: 1/2" = 1'-0"

Notes:

1. All components to manufactured screens: - Alumicor 500 Series.
2. Finish to aluminum: Duranor 2 coat system.
3. Some variance in the setback of the existing balcony railing as they relate to the outside line of the balcony slab.
4. Perimeter framing to be secured to structure on all sides to provide a totally rigid installation.

18 x 14 black aluminum mesh insect screening in extruded aluminum frame for removal from interior

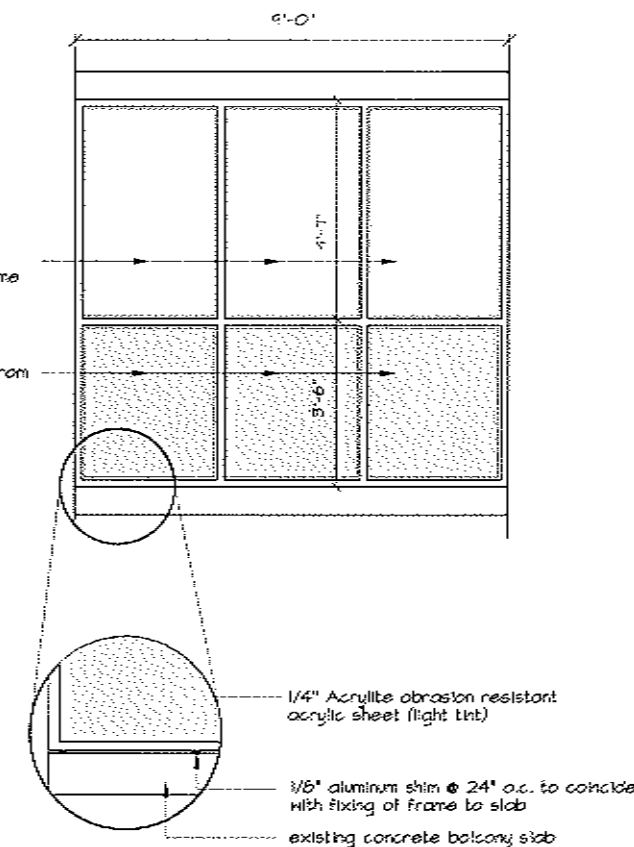
acrylic glazing (removable from exterior) light bronze



ELEVATION @ BALCONY TYPE A
SCALE: 1/4" = 1'-0"

18 x 14 black aluminum mesh insect screening in extruded aluminum frame for removal from interior

acrylic glazing (removable from exterior) light bronze



ELEVATION @ BALCONY TYPE B
SCALE: 1/4" = 1'-0"

CTA
CHRISTOPHER TOSSELL ARCHITECT

503 Queen St. E. Suite 301, Sault Ste. Marie, Ontario

ONTARIO ASSOCIATION
OF
ARCHITECTS

CHRISTOPHER TOSSELL
LICENCE

Christopher Tossell

PROJECT

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
REPAIRS

at
615 Bay Street
Sault Ste. Marie, On.
for
Algoma District Housing
Authority

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DATE	REV NO	REVISION	BY	APPD

DRAWING TITLE

BALCONY SECTION
AND ELEVATIONS

SCALE	DATE
As noted	FEB / 2000

DRAWN	CHECKED
S. FICOCIELLO	<i>CT</i>

PROJECT NO	DRAWING NUMBER
99-59	A-2



CHRIS TOSSELL ARCHITECT

503 Queen St. E. Suite 301, Sault Ste. Marie, Ontario



CHRISTOPHER TOSSELL

LICENCE

Chris Tossell

PROJECT

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
REPAIRS

at

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for
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DATE	REV NO	REVISION	BY	APPD

DRAWING TITLE

NEW WINDOW DESIGN
NORTH ELEVATION

SCALE
1/16" = 1'-0"

DATE
FEB / 2000

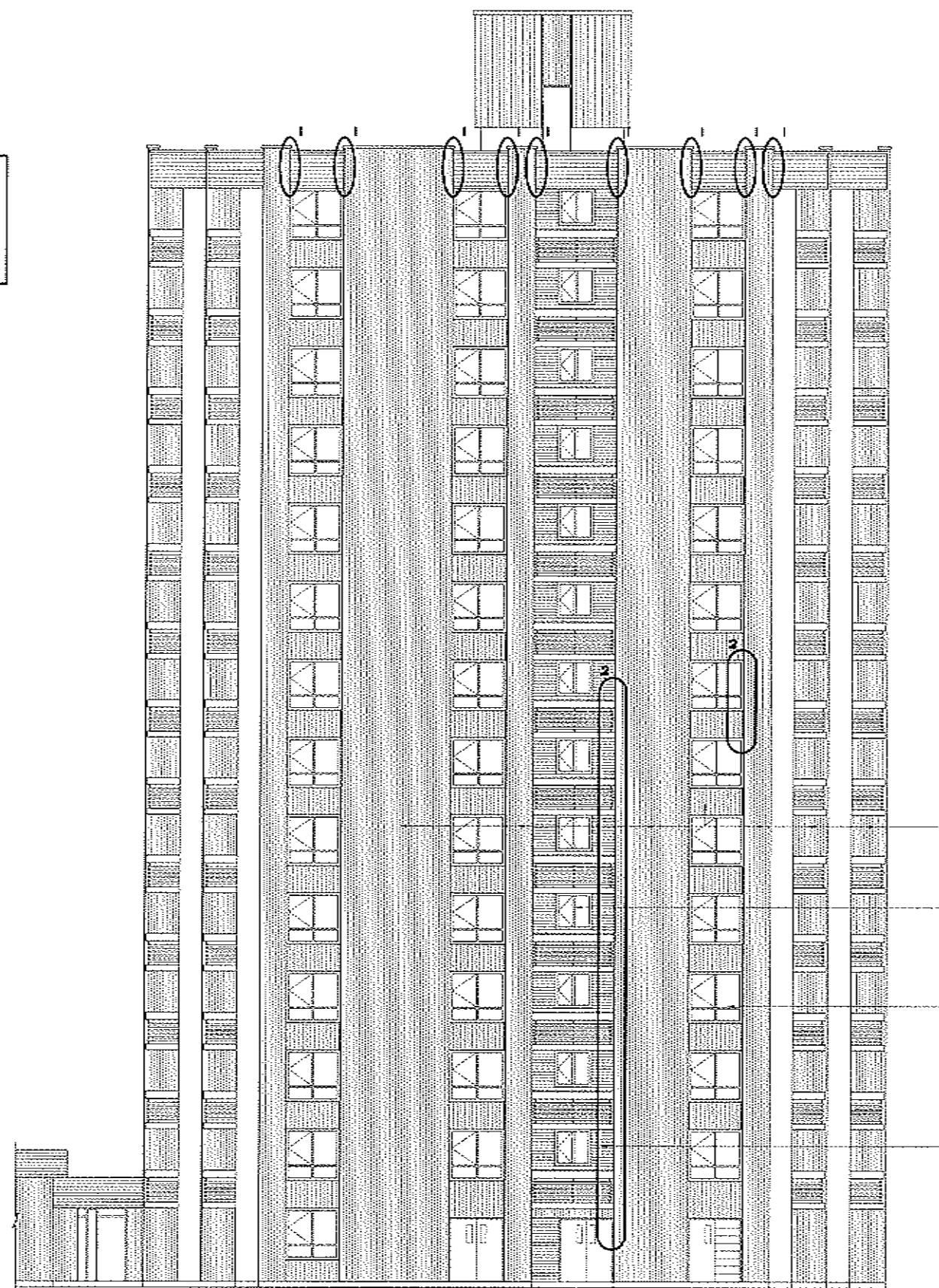
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S. FICOCIELLO

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CT

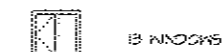
PROJECT NO
99-59

DRAWING NUMBER
A-3

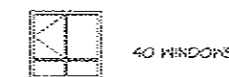
NOTE: (1) REMOVE EXISTING CAULK AND RESEAL ON
ALL ELEVATIONS AT THIS LEVEL.
(2) SIDING ATTACHMENT SCREWS LOOSE OR
MISSING (INTERMITTENT). REPLACE AND
REINSTALL WHERE NECESSARY.



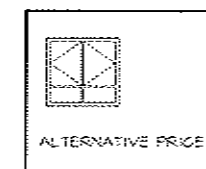
NORTH ELEVATION



BEDROOM WINDOW



LIVING ROOM WINDOW



ALL ELEVATIONS

NORTH ELEVATION

SCALE: 1/16" = 1'-0"



CHRISTOSSELL ARCHITECT

503 Queen St. E. Suite 301, Sault Ste. Marie, Ontario



CHRISTOPHER TOSSSELL

LICENCE
Chris Tossell

PROJECT

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
REPAIRS

at

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THE CONTRACTOR IS TO CHECK
ALL DIMENSIONS ON SITE

DATE	REV NO	REVISION	BY	APPD

DRAWING TITLE

NEW WINDOW DESIGN
SOUTH ELEVATION

SCALE
1/8" = 1'-0"

DATE
FEB / 2000

DRAWN
S. FICOCIELLO

CHECKED
CT

PROJECT NO
99-59

DRAWING NUMBER
A-4

NOTE: (2) SIDING ATTACHMENT SCREWS LOOSE OR
MISSING (INTERMITTENT). REPLACE AND
REINSTALL WHERE NECESSARY.

(3 X) INDICATES BALCONY PICKET BOLTS
MISSING OR SHEARED. REPLACE AND
TOUCH UP PAINT.

SOUTH ELEVATION

13 WINDOWS
BEDROOM WINDOW

42 WINDOWS
LIVING ROOM WINDOW

1 WINDOW
BEDROOM WINDOW

1 WINDOW
LAUNDRY ROOM WINDOW

EXISTING VERTICAL METAL CLADDING

EXISTING BRICK

NEW BEDROOM WINDOW / REFER
TO A-7

NEW LIVING ROOM WINDOW / REFER
TO A-7

NEW LAUNDRY ROOM WINDOW / REFER
TO A-7

NEW BEDROOM WINDOW / REFER
TO A-7

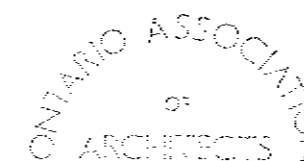
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



CHRIS TOSSELL ARCHITECT

503 Queen St. E. Suite 301, Sault Ste. Marie, Ontario



CHRISTOPHER TOSSELL
LICENCE

Chris Tossell

PROJECT

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
REPAIRS

at

615 Bay Street
Sault Ste. Marie, On.

for

Algoma District Housing
Authority

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CHRIS TOSSELL ARCHITECT

THE CONTRACTOR IS TO CHECK
ALL DIMENSIONS ON SITE

DATE	REV NO	REVISION	BY	APPD

DRAWING TITLE

NEW WINDOW DESIGN
WEST ELEVATION

SCALE
1/16" = 1'-0"

DATE
FEB / 2000

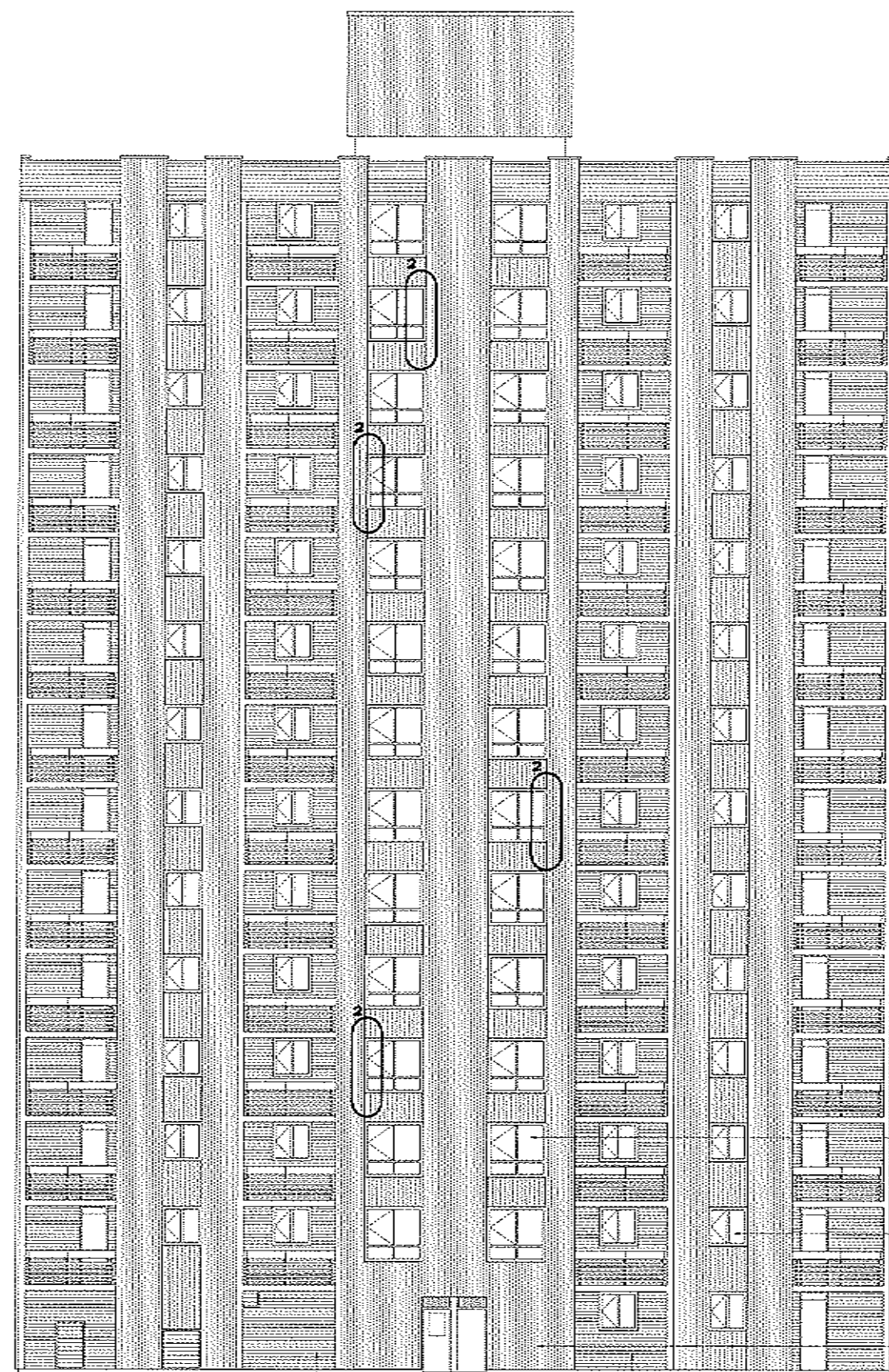
DRAWN
S. FICOCIELLO

CHECKED
CT

PROJECT NO
99-59

DRAWING NUMBER
A-5

NOTE: (2) SIDING ATTACHMENT SCREWS LOOSE OR
MISSING (INTERMITTENT). REPLACE AND
REINSTALL WHERE NECESSARY.



WEST ELEVATION

54 WINDOWS
BEDROOM WINDOW

26 WINDOWS
LIVING ROOM WINDOW

NEW LIVING ROOM WINDOW / REFER
TO A-1

NEW BEDROOM WINDOW / REFER
TO A-1

EXISTING VERTICAL METAL CLADDING

EXISTING BRICK

WEST ELEVATION
SCALE: 1/16" = 1'-0"

CTA

CHRIS TOSSELL ARCHITECT

503 Queen St. E. Suite 301, Sault Ste. Marie, Ontario

ONTARIO ASSOCIATION
OF
ARCHITECTS

CHRIS TOSSELL

2000

PROJECT

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
REPAIRS

at
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Sault Ste. Marie, On.

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DRAWING TITLE

NEW WINDOW DESIGN
EAST ELEVATION

SCALE
1/16" = 1'-0"

DATE
FEB / 2000

DRAWN
S. FICOCIELLO

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[Signature]

PROJECT NO
99-59

DRAWING NUMBER
A-6

WEST ELEVATION

35 WINDOWS
BEDROOM WINDOW

26 WINDOWS
LIVING ROOM WINDOW

1 WINDOW
LIVING ROOM WINDOW (UNIT #210)

1 WINDOW
COMMON ROOM WINDOW

EXISTING VERTICAL METAL CLADDING

EXISTING BRICK

NEW LIVING ROOM WINDOW / REFER
TO A-7

NEW BEDROOM WINDOW / REFER
TO A-7

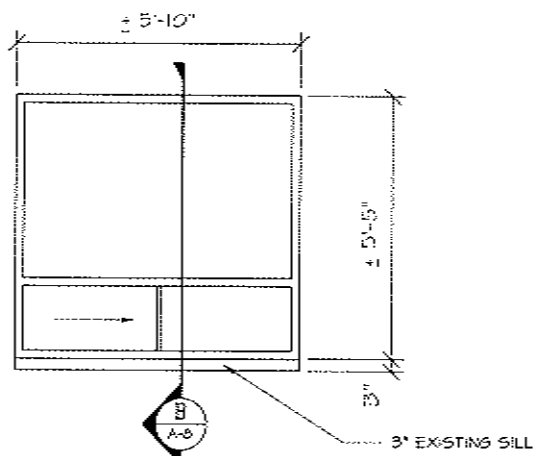
NEW LIVING ROOM WINDOW (UNIT #210)
REFER TO A-7

EAST ELEVATION

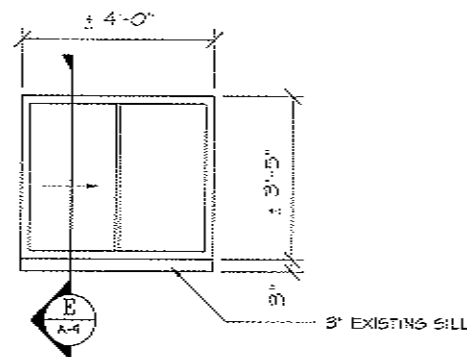
SCALE: 1/16" = 1'-0"

NOTE: (2) SIDING ATTACHMENT SCREWS LOOSE OR
MISSING (INTERMITTENT). REPLACE AND
REINSTALL WHERE NECESSARY.

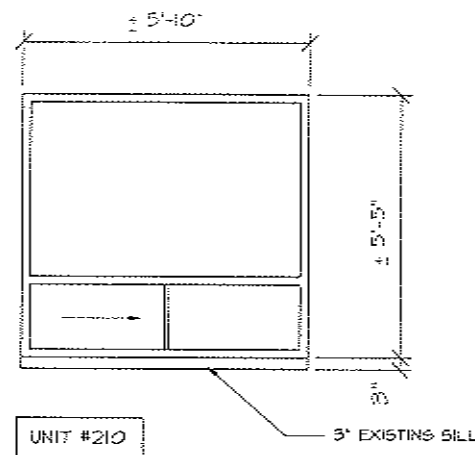
(4) REMOVE AND RE-INSTALL EXISTING A/C
UNIT.



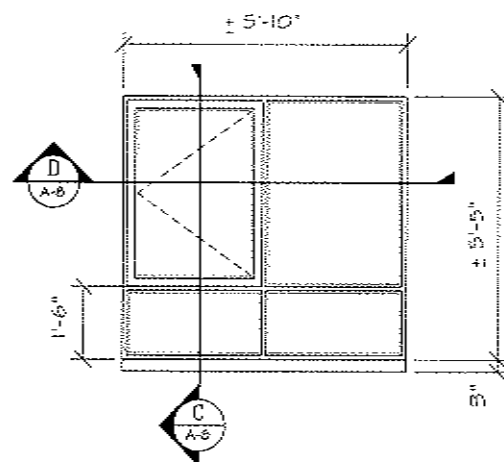
EXISTING LIVING ROOM WINDOW
SCALE: 1/4" = 1'-0"



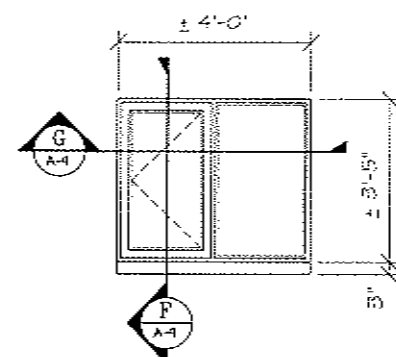
EXISTING BEDROOM WINDOW
SCALE: 1/4" = 1'-0"



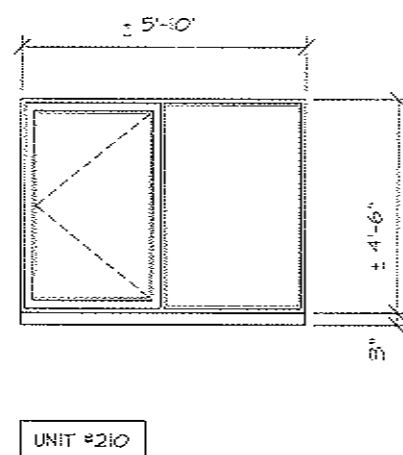
EXISTING LIVING ROOM WINDOW
SCALE: 1/4" = 1'-0"



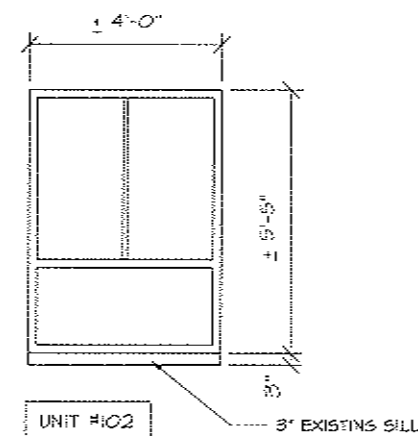
NEW LIVING ROOM WINDOW
SCALE: 1/4" = 1'-0"



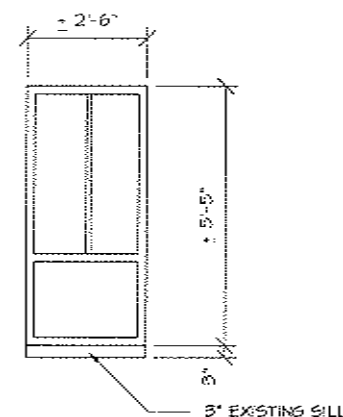
NEW BEDROOM WINDOW
SCALE: 1/4" = 1'-0"



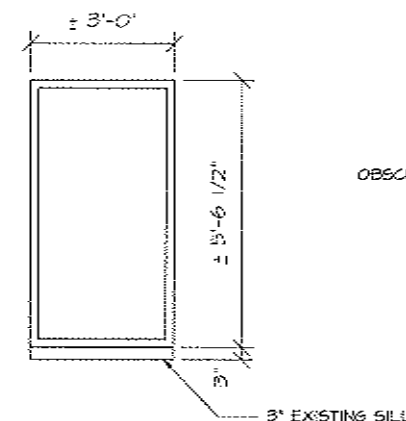
NEW LIVING ROOM WINDOW
SCALE: 1/4" = 1'-0"



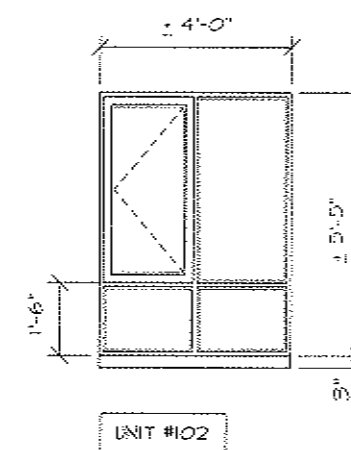
EXISTING BEDROOM WINDOW
SCALE: 1/4" = 1'-0"



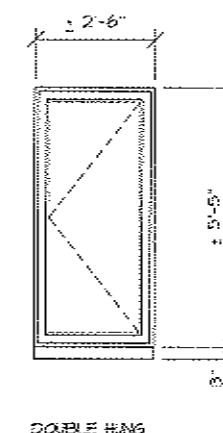
EXISTING WINDOW (LAUNDRY RM.)
SCALE: 1/4" = 1'-0"



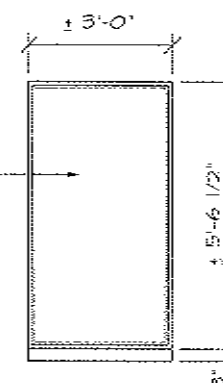
EXISTING WINDOW (COMMON RM.)
SCALE: 1/4" = 1'-0"



NEW BEDROOM WINDOW
SCALE: 1/4" = 1'-0"



NEW WINDOW (LAUNDRY RM.)
SCALE: 1/4" = 1'-0"



NEW WINDOW (COMMON RM.)
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ALL NEW WINDOWS TO BE ALUMICOR 1100E SERIES IN 910 SERIES FRAMING. CONTRACTORS TO VERIFY ALL WINDOW DIMENSIONS ON SITE PRIOR TO FABRICATION.

CTA
CHRISTOSSELL ARCHITECT

503 Queen St. E. Suite 301, Sault Ste. Marie, Ontario

ONTARIO ASSOCIATION
OF
ARCHITECTS

CHRISTOPHER TOSSELL

ARCHITECT

PROJECT

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NEW WINDOW DESIGNS

SCALE
1/4" = 1'-0"

DATE
FEB / 2000

DRAWN
S. FICOCIELLO

CHECKED
Gr

PROJECT NO
99-59

DRAWING NUMBER
A-7



ONTARIO ASSOCIATION
OF
ARCHITECTS

CHRISTOPHER YOSSELL
LICENCE

Mr. Jones

WINDOW REPLACEMENT,
BALCONY SCREEN
INSTALLATION & MINOR
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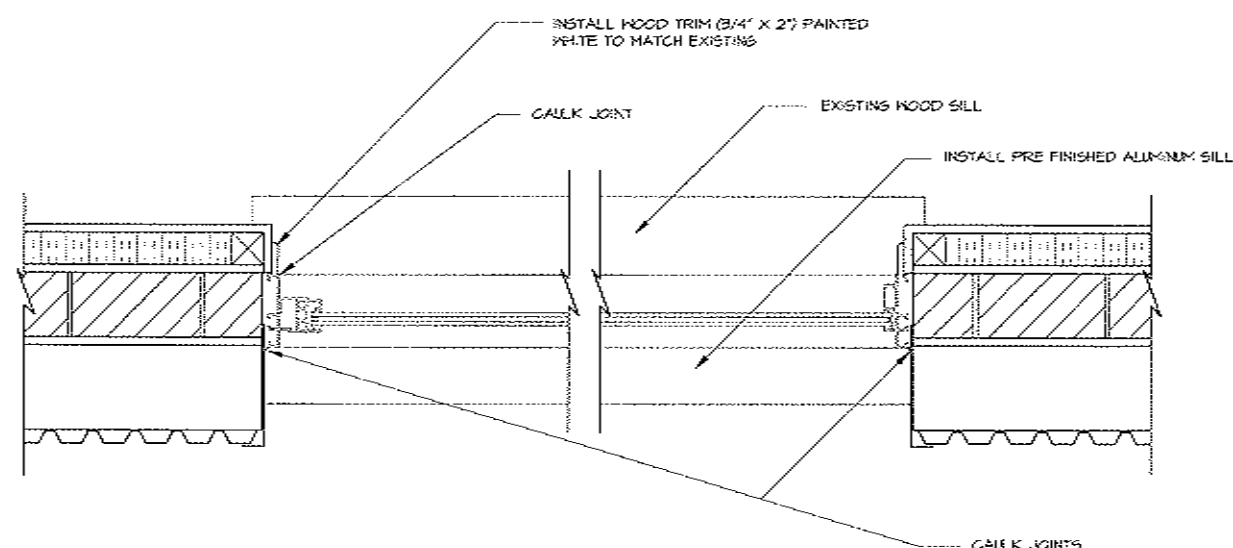
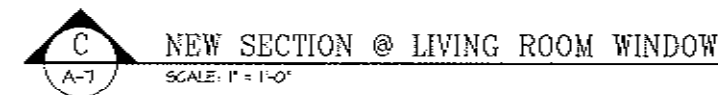
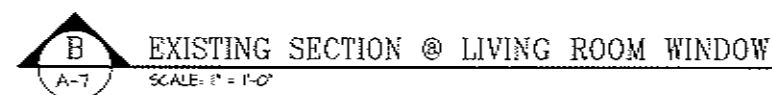
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SECTION @ LIVING
ROOM WINDOW

SCALE 1" = 1'-0"	DATE FEB / 2000
DRAWN S. FICOCIELLO	CHECKED <i>CF</i>
PROJECT NO 99-59	DRAWING NUMBER A-8



NOTE: SECTION IS SIMILAR AT BEDROOM WINDOW. FINISHED FLOOR TO TOP OF SILL HEIGHT AT BEDROOM IS 4'-6"

NEW JAMB PROFILE @ LIVING ROOM WINDOW



503 Queen St. E. Suite 304, Sault Ste. Marie, Ontario



CHRISTOSSELL ARCHITECT
LICENCE

Christos Tossell

PROJECT

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SECTION @ BALCONY
BEDROOM WINDOW

SCALE
1" = 1'-0"

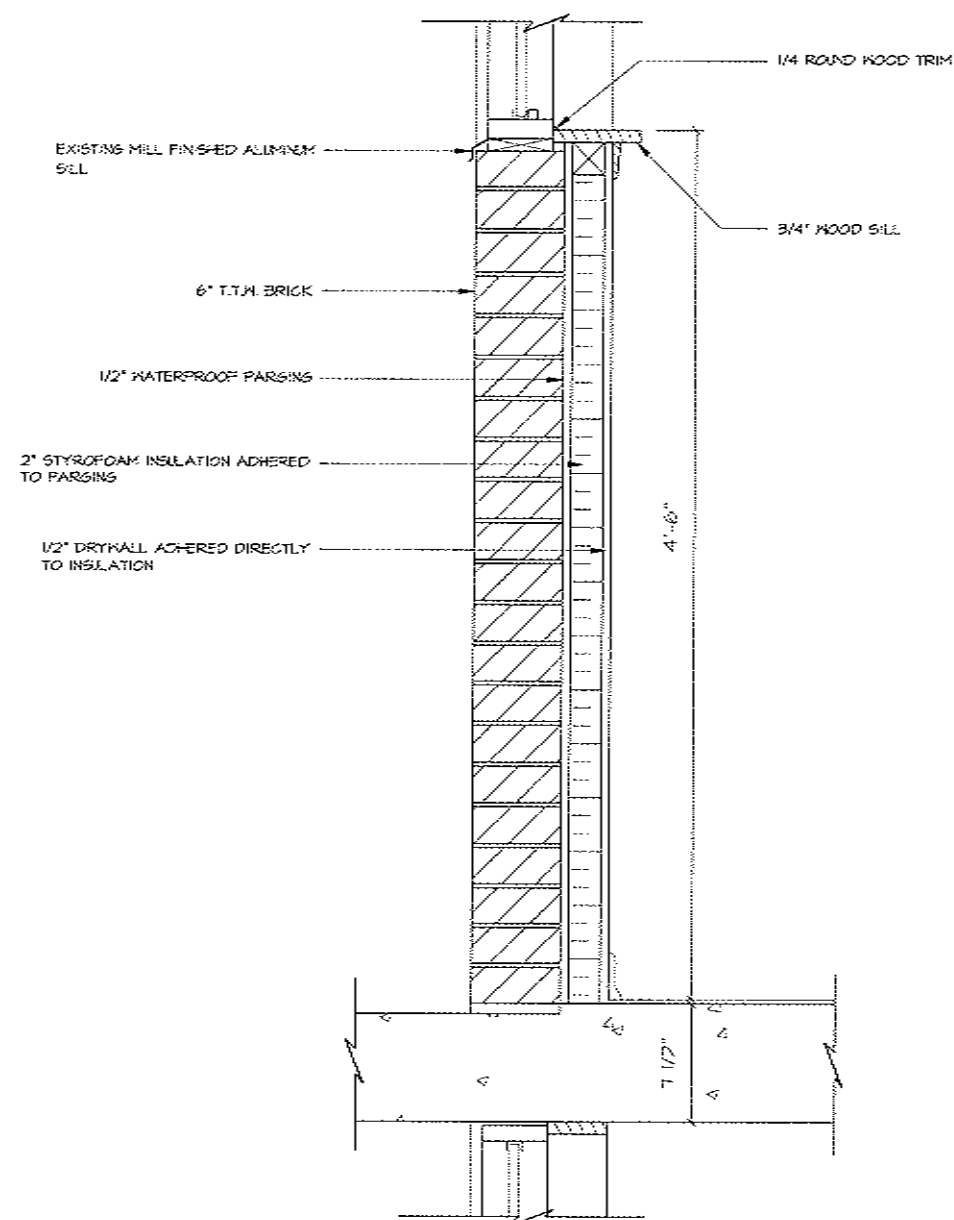
DATE
FEB / 2000

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S. FICOCIELLO

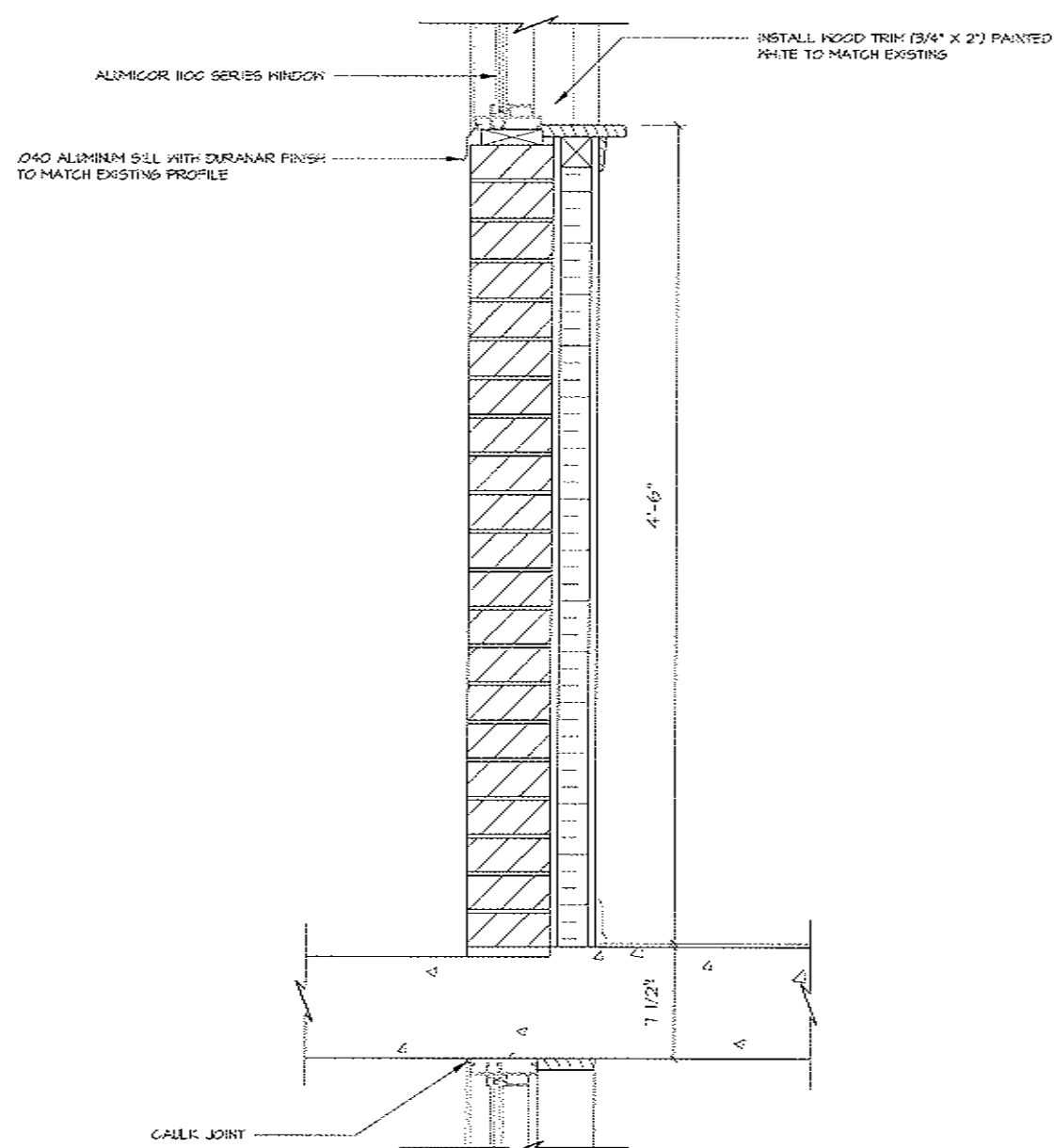
CHECKED
CT

PROJECT NO
99-59

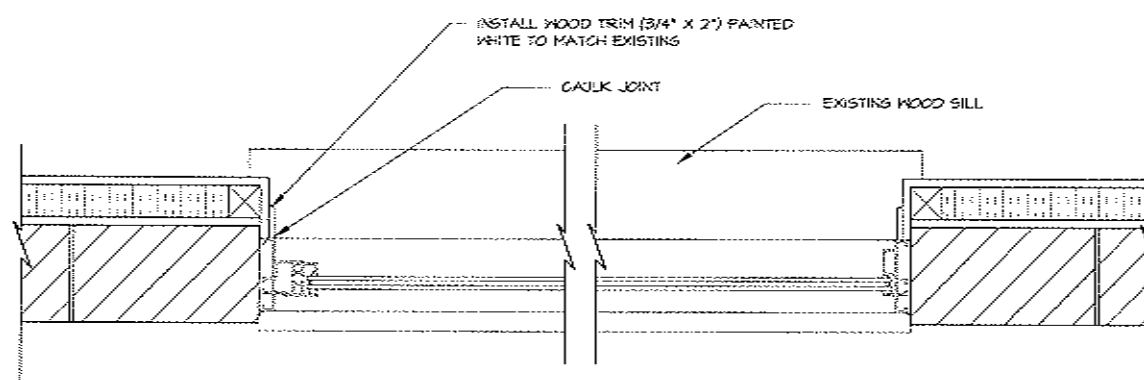
DRAWING NUMBER
A-9



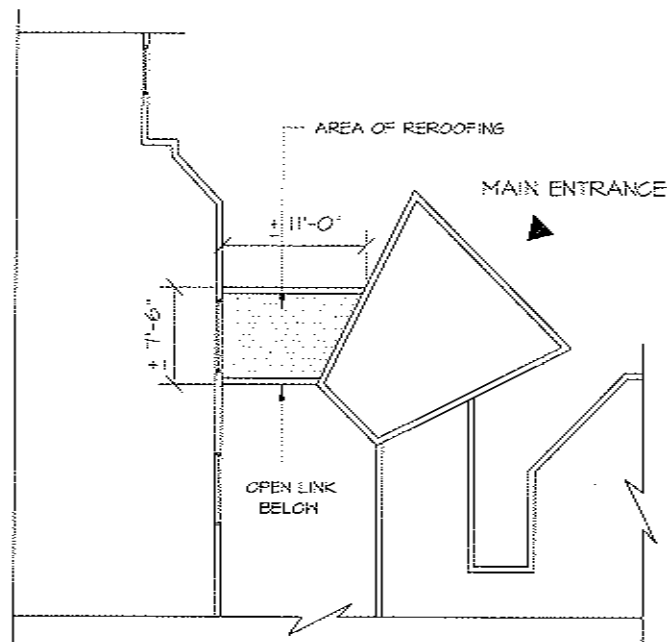
E
A-7
EXISTING SECTION @ BEDROOM WINDOW
SCALE: 1" = 1'-0"



F
A-7
EXISTING SECTION @ BEDROOM WINDOW
SCALE: 1" = 1'-0"

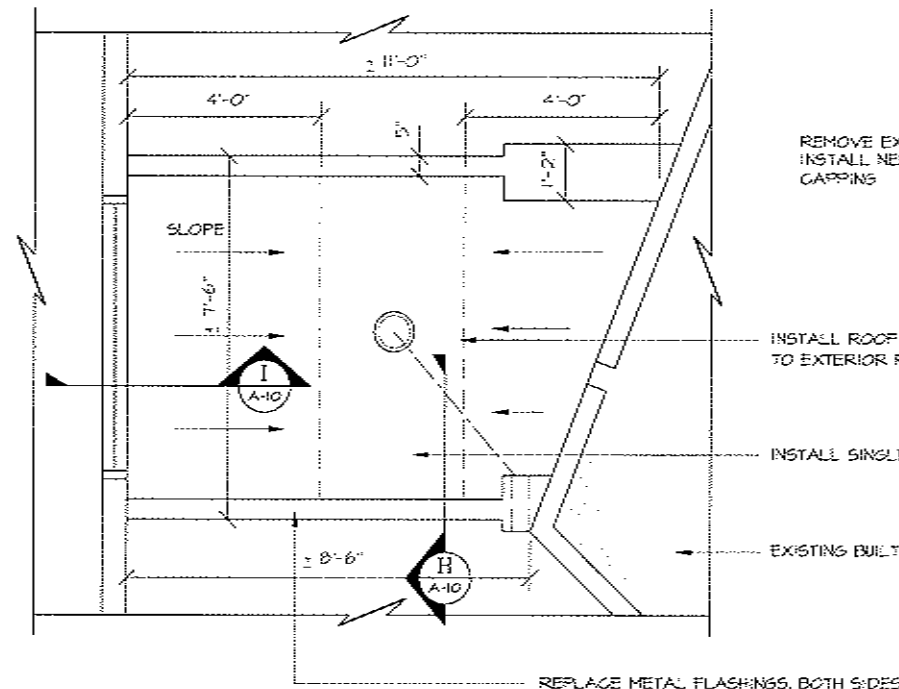


G
A-7
NEW JAMB PROFILE @ BEDROOM WINDOW
SCALE: 1" = 1'-0"



KEY PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

REMOVE EXISTING CAP FLASHING AND
INSTALL NEW PRE FINISHED ALUMINUM
CAPPING

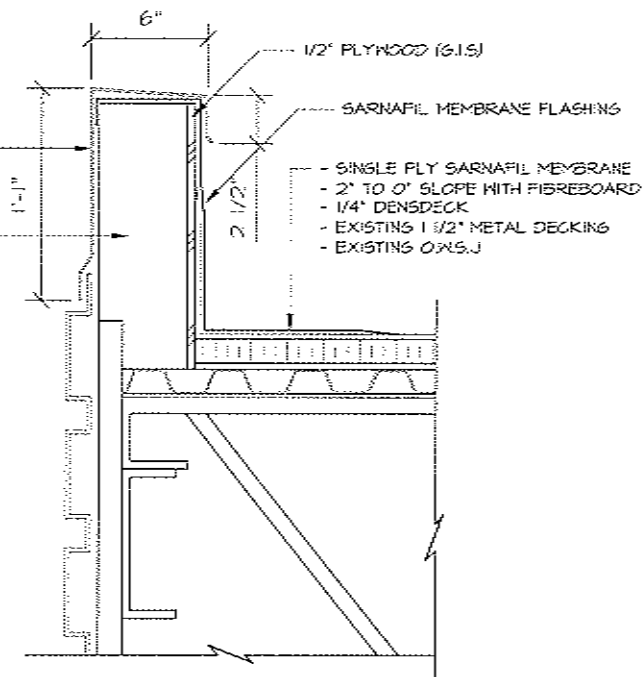
UNKNOWN CONSTRUCTION

INSTALL ROOF DRAIN AND LINK
TO EXTERIOR RAIN WATER LEADER

INSTALL SINGLE PLY MEMBRANE

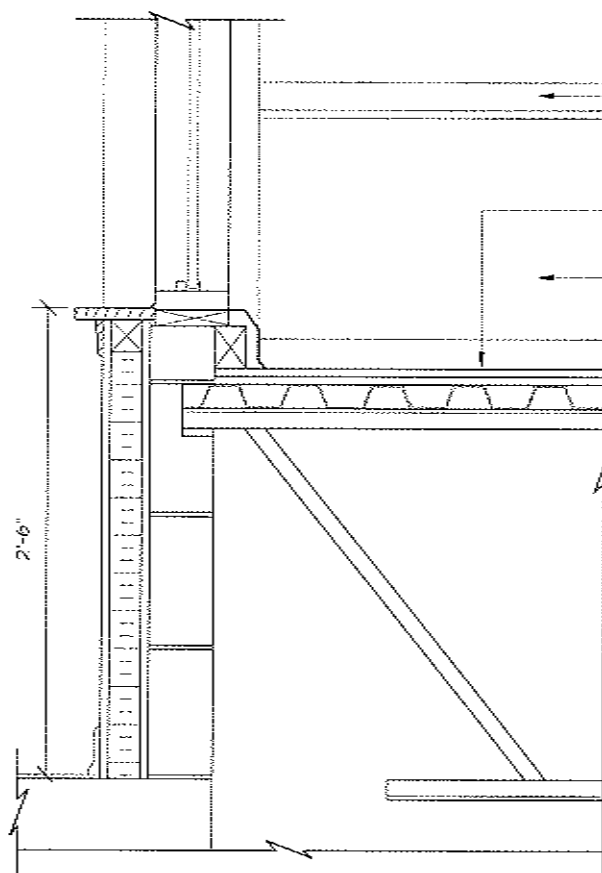
EXISTING BUILT-UP ROOF

REPLACE METAL FLASHINGS, BOTH SIDES



NEW SECTION @ PARAPET

SCALE: 1" = 1'-0"



EXISTING SECTION (UNIT # 210)

SCALE: 1" = 1'-0"

EXISTING CAP FLASHINGS TO BE REMOVED
AND RE-USED

EXISTING BUILT-UP ROOF TO BE REMOVED

EXISTING FLASHING TO BE REMOVED

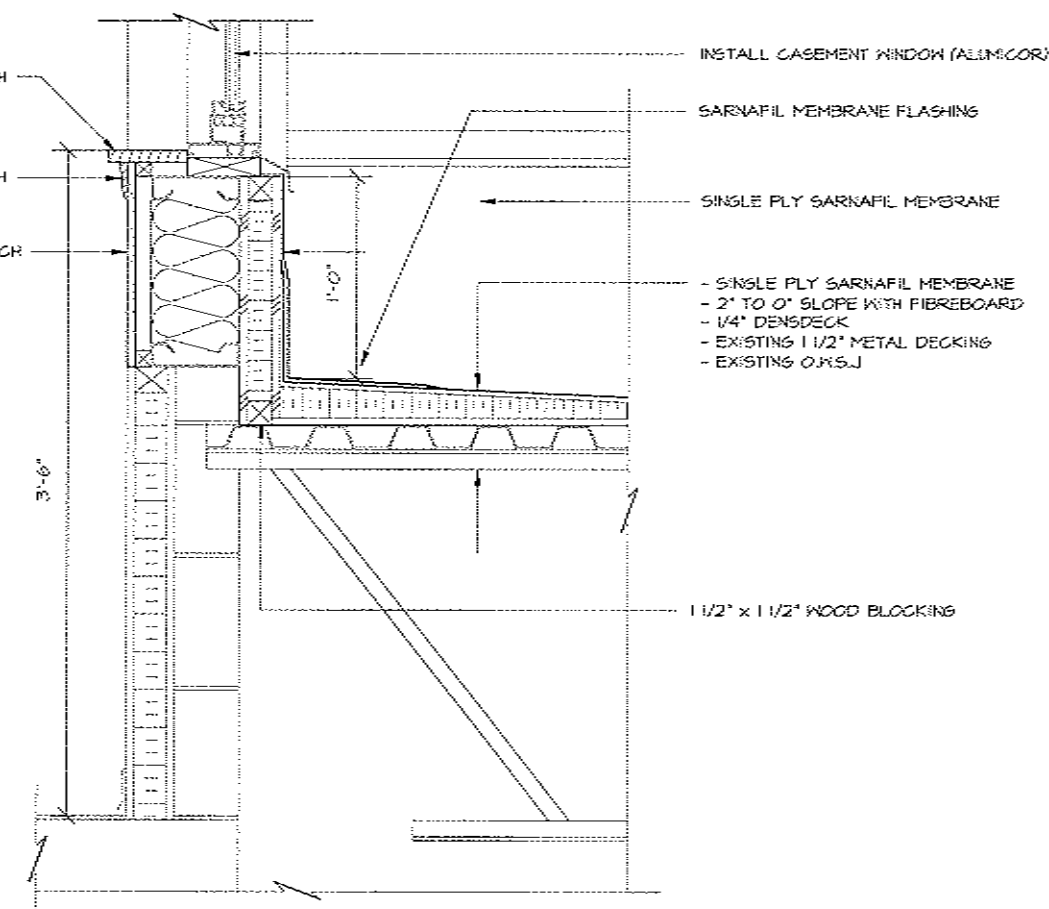
3/4" WOOD SILL /PAINT FINISH

2 1/4" WOOD TRIM /PAINT FINISH

- 1/2" GYPSUM BOARD, PAINT TO MATCH
EXISTING WALL
- 2 x 6 METAL STUDS @ 16" O.C.
- R22 BATT INSULATION
- 1/2" PLYWOOD SHEATHING
- 1 1/2" RIGID INSULATION
- 1/2" PLYWOOD SHEATHING
- SARNAFIL MEMBRANE FLASHING

ROOF CUT TEST

- 4 PLY FELT AND GRAVEL LAID
DIRECTLY ON TO PLYWOOD
- 1 1/2" METAL DECK
- OPEN WEB STEEL JOISTS



**SECTION @ LIVING ROOM WINDOW
AREA OF REROOFING @ OPEN LINK**

SCALE: 1" = 1'-0"

CTA

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REROOFING
OPEN LINK

SCALE
1/2" = 1'-0"

DATE
FEB / 2000

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S. FIOCCIELLO

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PROJECT NO
99-59

DRAWING NUMBER
A-10